



MILHAVEN MANOR RENOVATION

200 DARES FERRY  
RD, SPARTANBURG,  
SC, 29302

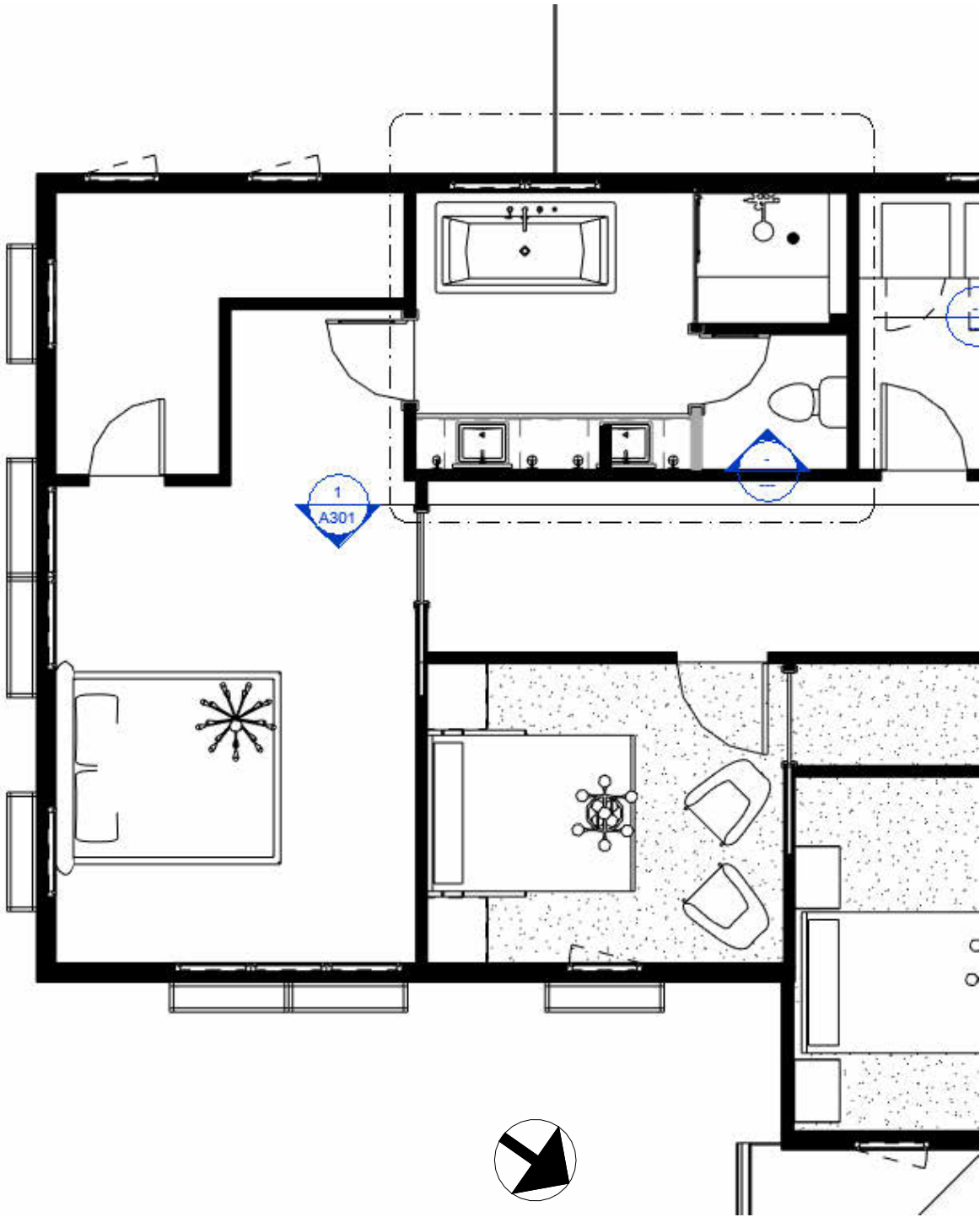
ISSUE FOR: CODE REVIEW

Date Issue Date  
Drawn By KB  
Checked By JG

Cover Page

A1

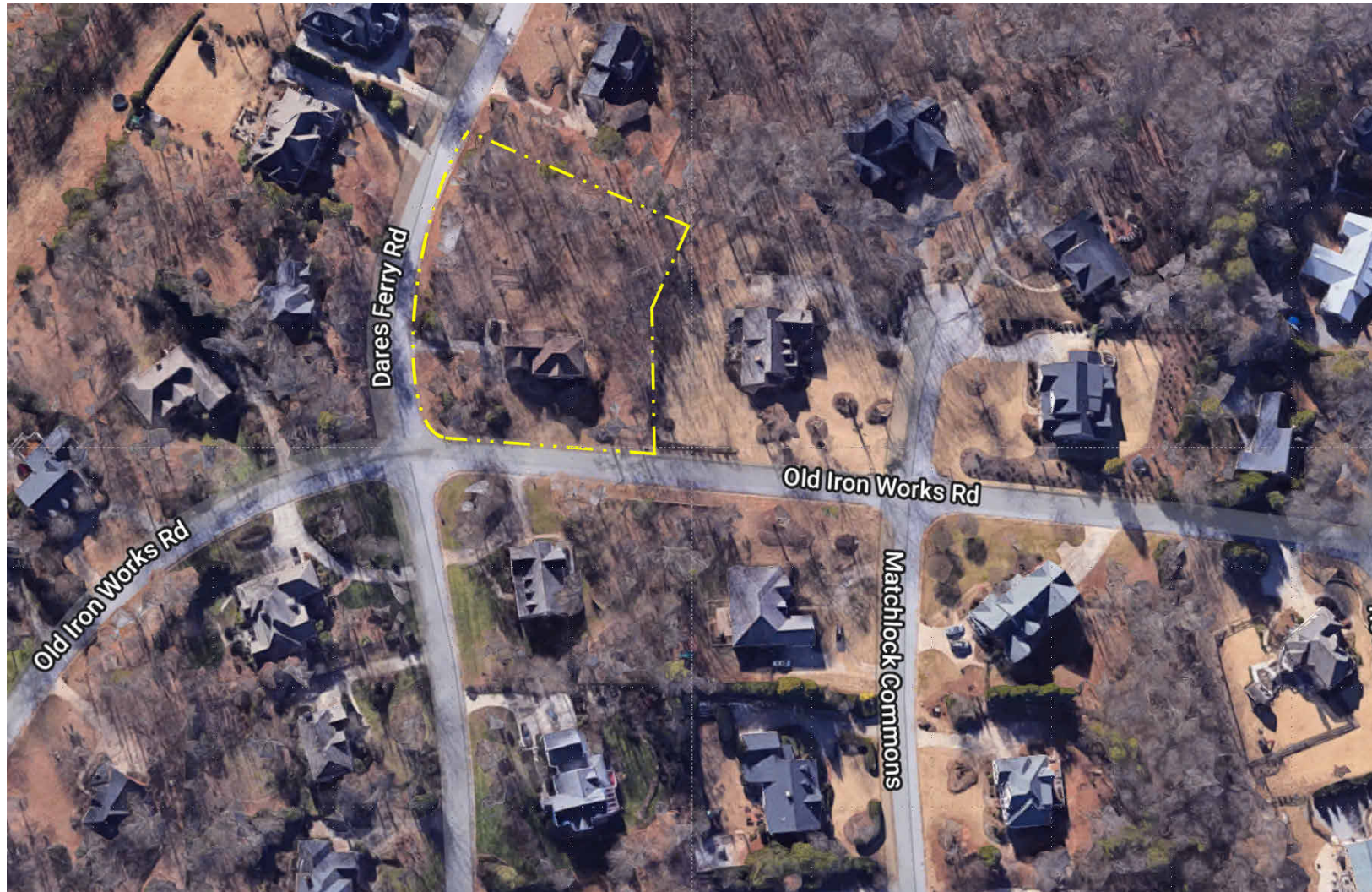
MASTER  
BEDROOM AND  
BATHROOM



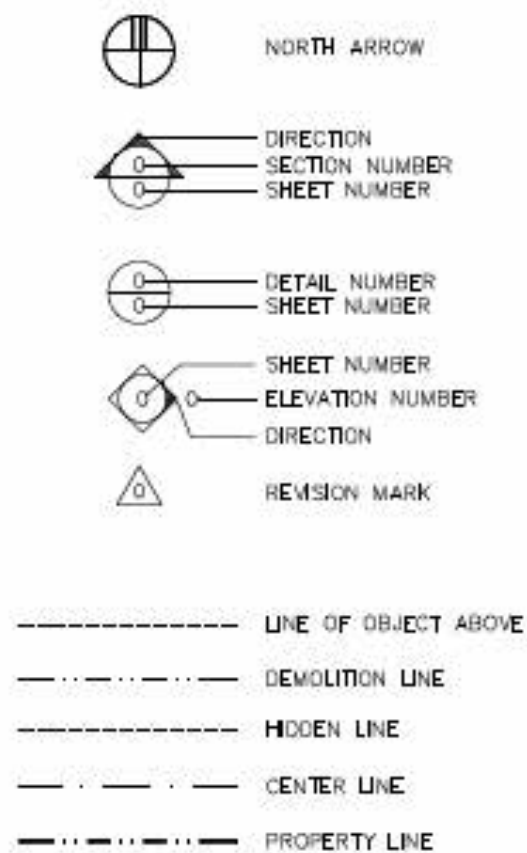
FIRST FLOOR



SITE PLAN



Symbol Legend



CONSTRUCTION LEGEND

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GENERAL NOTES

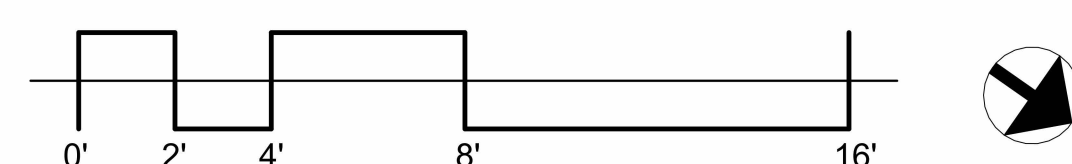
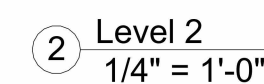
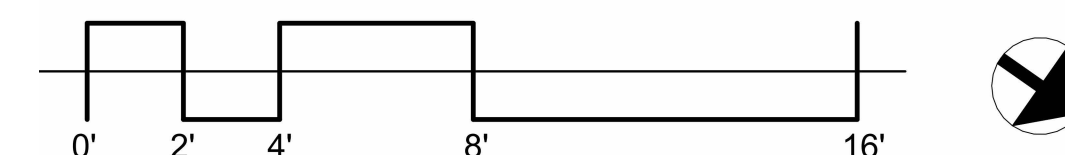
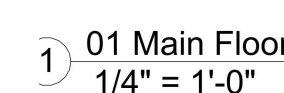
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## GENERAL NOTES



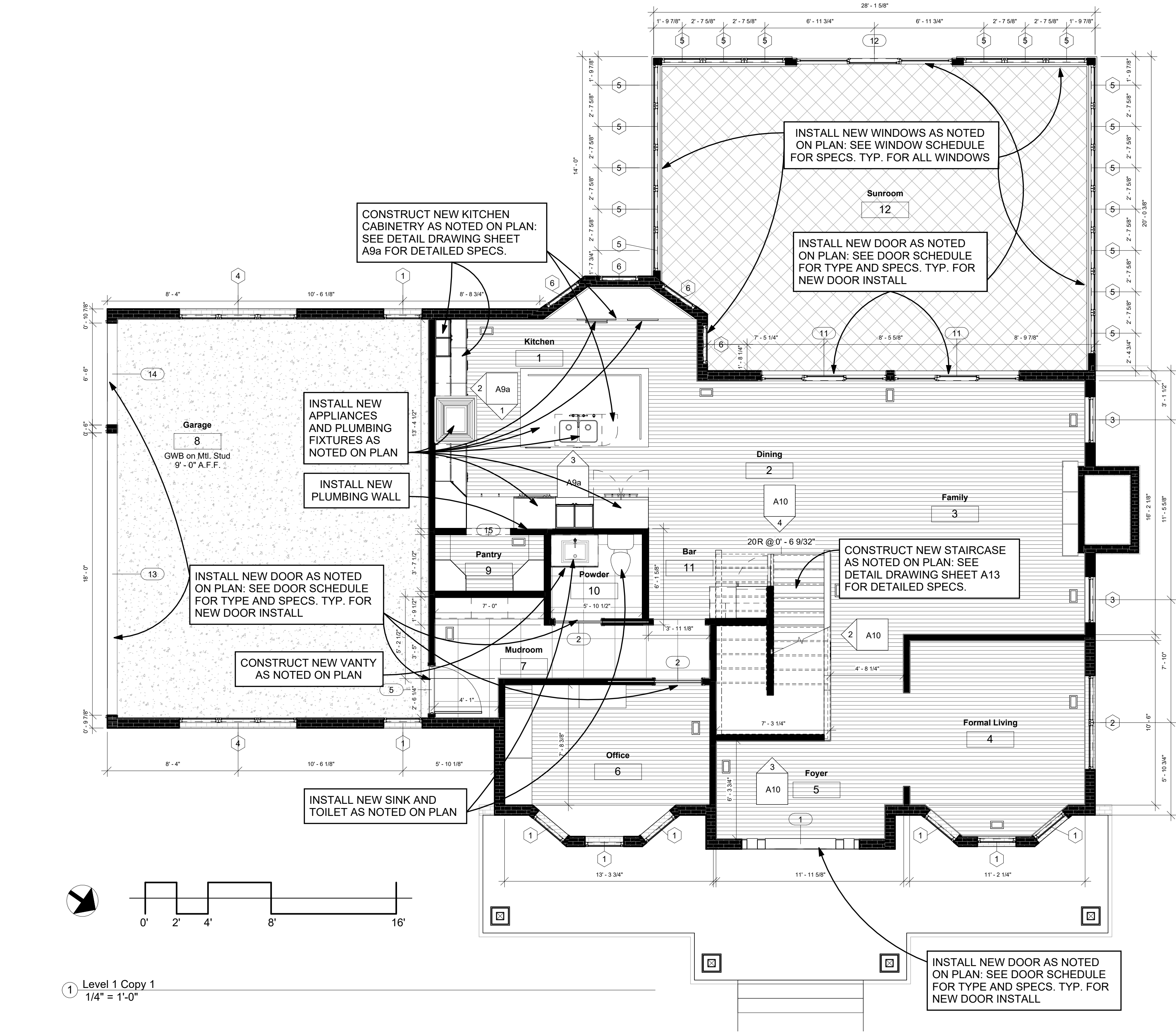
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ISSUE FOR: CODE REVIEW

Date	Issue Date
Drawn By KB	
Checked By JG	

Demolition Plan

A2



- Legend 3  
1" = 1'-0"
- Wall Tag
  - Door Tag
  - Window Tag
  - TimberTech Composite Decking - Azek Vintage English Walnut
  - Karndean Korlok Select Vinyl - Warm Brushed Oak
  - Ferrari BK - Via del Centro Tile
  - Walker Zanger Villa D'Oro Tile - Palermo Sage
  - Polished Concrete
  - Carpet

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Window Schedule						
Mark	Level	Description	Sill Height	Head Height	Dimensions	Quantity
1	Level 2	Single Wide Fixed Casement Window	2' - 6"	7' - 5 3/4"	4' - 11 3/4" x 2' - 5 5/8"	3
1	Level 2	Single Wide Fixed Casement Window	2' - 8"	7' - 7 3/4"	4' - 11 3/4" x 2' - 5 5/8"	5
1	Level 1	Single Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 2' - 5 5/8"	8
2	Level 1	Double Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 6' - 0"	1
3	Level 2	Single Wide Fixed Casement Window	3' - 0"	8' - 11 3/4"	5' - 11 3/4" x 2' - 11 5/8"	2
3	Level 1	Single Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 2' - 11 5/8"	2
4	Level 1	Triple Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 7' - 6"	2
5	Level 1	Single Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 2' - 7 5/8"	18
6	Level 1	Single Wide Fixed Casement Window	4' - 0"	8' - 11 3/4"	4' - 11 3/4" x 2' - 5 5/8"	4
8	Level 2	Triple Wide Fixed Casement Window	3' - 0"	8' - 11 3/4"	5' - 11 3/4" x 6' - 0"	1
9	Level 2	Single Wide Swinging Casement Window	2' - 8"	7' - 1 3/4"	4' - 5 3/4" x 2' - 5 5/8"	5
10	Level 2	Double Wide Fixed Casement Window	2' - 8"	7' - 7 3/4"	4' - 11 3/4" x 5' - 0"	1
11	Level 2	Double Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 5' - 0"	1
12	Level 2	CSMT	3' - 0"	9' - 11 3/4"	6' - 11 3/4" x 6' - 0"	1
13	Level 2	CSMT	2' - 8"	8' - 2"	5' - 6" x 7' - 6"	1

Door Schedule						
Mark	Level	Description	Head Height	Sill Height	Dimensions	Quantity
1	Level 1	Arched Exterior Door	6' - 6"	0' - 0"	6' - 6" x 3' - 0"	1
2	Level 1 & Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 3' - 0"	4
3	Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 2' - 2"	1
4	Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 2' - 4"	1
5	Level 1 & Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 3' - 0"	3
6	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 10"	5
8	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 2"	1
9	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 6"	1
10	Level 2	<varies>	<varies>	0' - 0"	<varies> x <varies>	2
11	Level 1	Sliding Glass Paito Door	7' - 11 1/2"	0' - 0"	7' - 11 1/2" x 8' - 0"	2
12	Level 1	Sliding Glass Paito Door	9' - 0"	0' - 0"	9' - 0" x 9' - 11 1/2"	1
13	Level 1	Single Wide Arched Top Garage Door	7' - 0"	0' - 0"	7' - 0" x 18' - 0"	1
14	Level 1	Double Wide Arched Top Garage Door	7' - 0"	0' - 0"	7' - 0" x 6' - 6"	1
15	Level 1	Door Opening Hidden Behind Faux Cabinet	0' - 0"	0' - 0"	0' - 0" x 0' - 0"	1
16	Level 2	Door Opening	0' - 0"	0' - 0"	0' - 0" x 0' - 0"	1



CLIENT:

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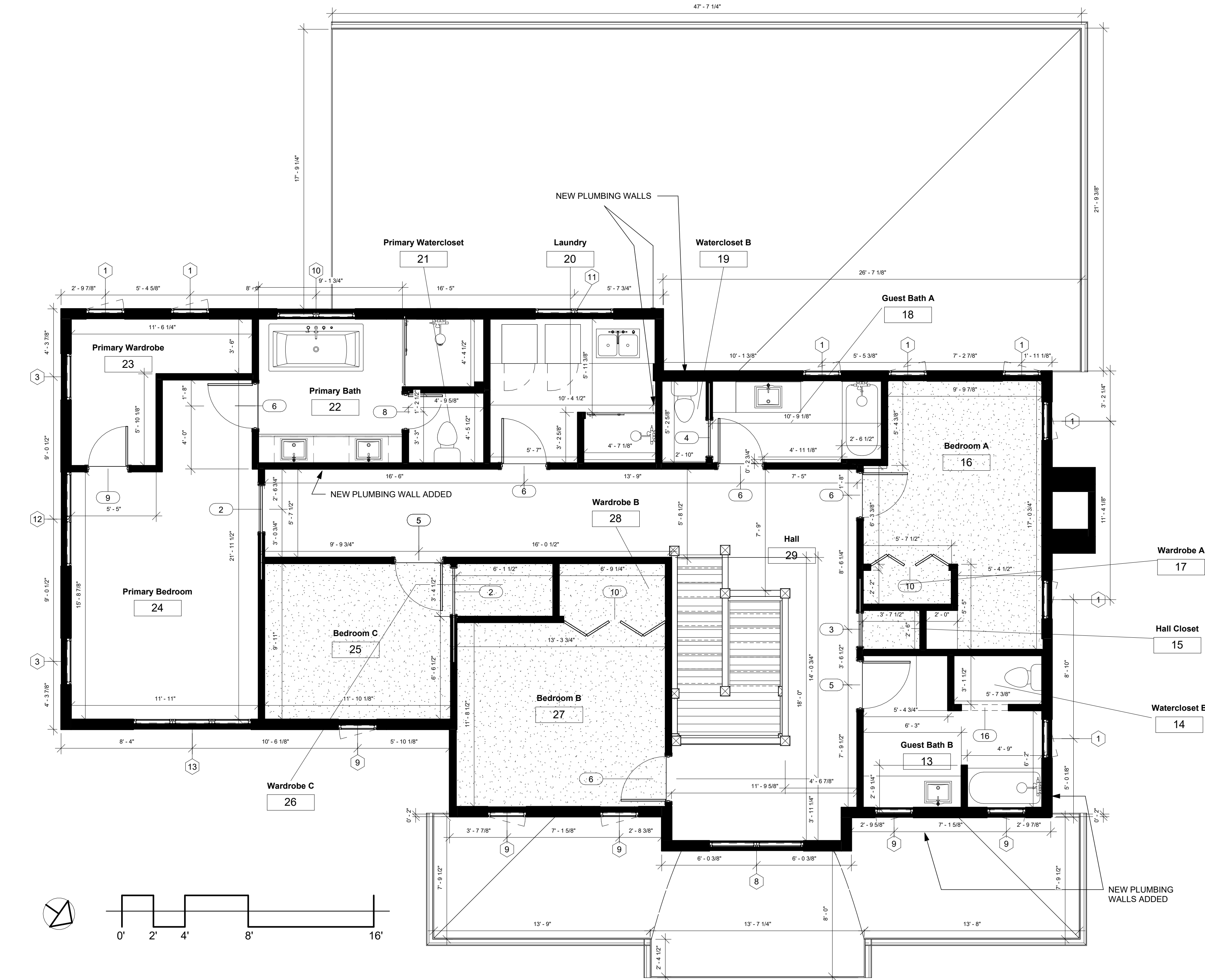
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Drawn By  
Checked By

Issue Date  
KB  
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Floor Plan Level 2

A3b

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1 Level 2 Copy 1  
1/4" = 1'-0"

Window Schedule						
Mark	Level	Description	Sill Height	Head Height	Dimensions	Quantity
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2	Level 1	Double Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 6' - 0"	1
3	Level 2	Single Wide Fixed Casement Window	3' - 0"	8' - 11 3/4"	5' - 11 3/4" x 2' - 11 5/8"	2
3	Level 1	Single Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 2' - 11 5/8"	2
4	Level 1	Triple Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 7' - 6"	2
5	Level 1	Single Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 2' - 7 5/8"	18
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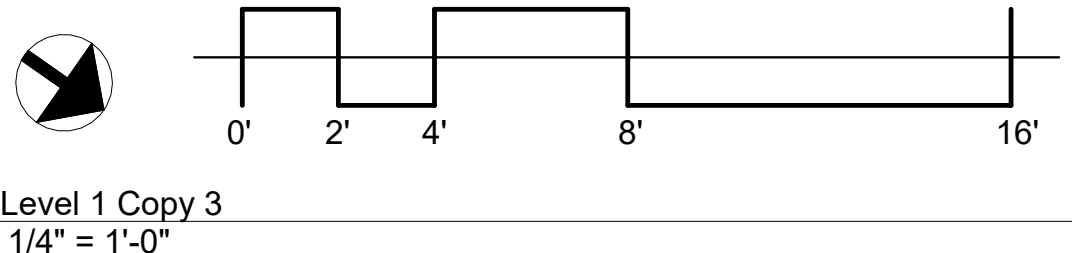
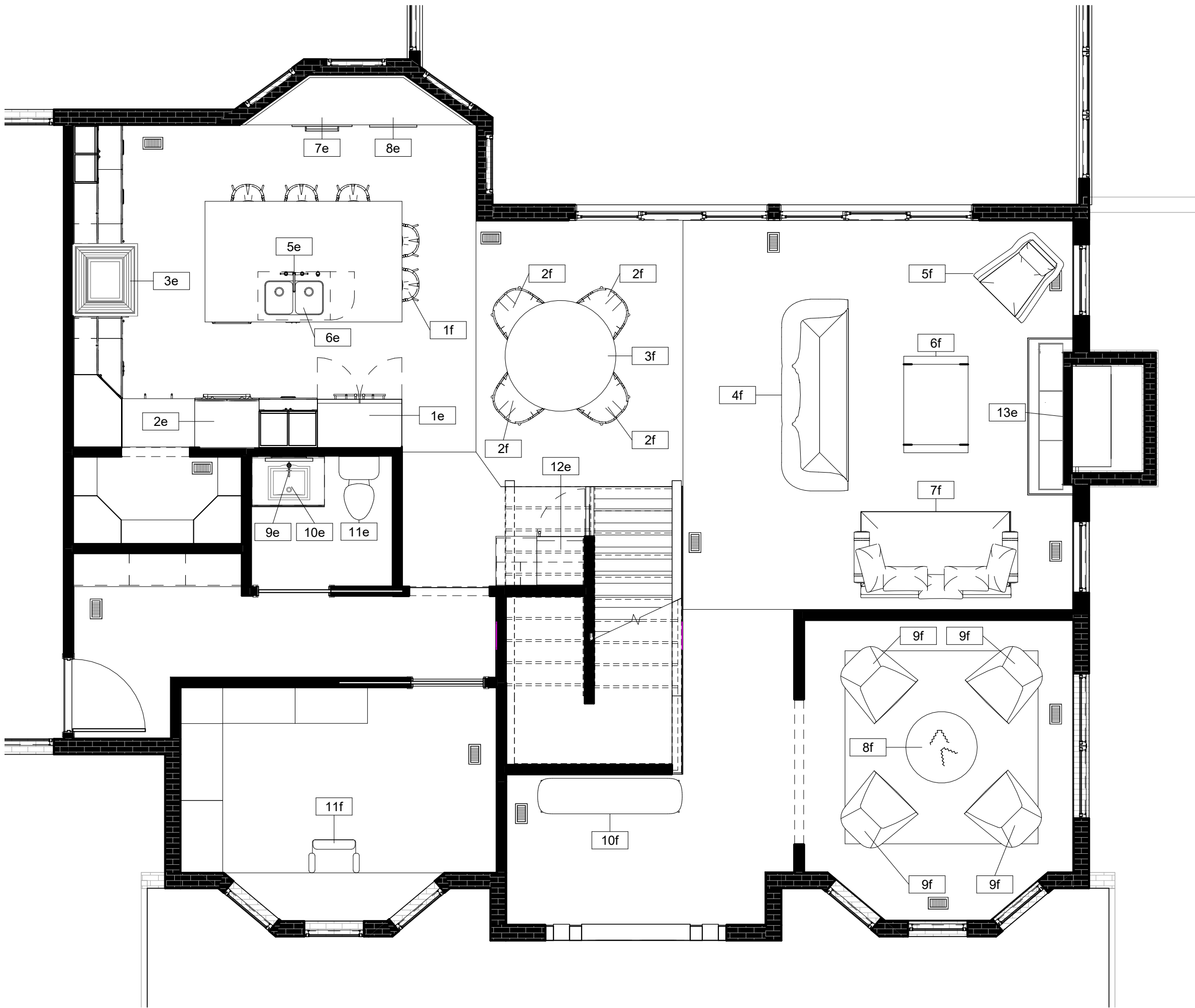
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4	Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 2' - 4"	1
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8	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 2"	1
9	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 6"	1
10	Level 2	<varies>	<varies>	0' - 0"	<varies> x <varies>	2
11	Level 1	Sliding Glass Paito Door	7' - 11 1/2"	0' - 0"	7' - 11 1/2" x 8' - 0"	2
12	Level 1	Sliding Glass Paito Door	9' - 0"	0' - 0"	9' - 0" x 9' - 11 1/2"	1
13	Level 1	Single Wide Arched Top Garage Door	7' - 0"	0' - 0"	7' - 0" x 18' - 0"	1
14	Level 1	Double Wide Arched Top Garage Door	7' - 0"	0' - 0"	7' - 0" x 6' - 6"	1
15	Level 1	Door Opening Hidden Behind Faux Cabinet	0' - 0"	0' - 0"	0' - 0" x 0' - 0"	1
16	Level 2	Door Opening	0' - 0"	0' - 0"	0' - 0" x 0' - 0"	1

- Wall Tag
- Door Tag
- Window Tag
- TimberTech Composite Decking - Azek Vintage English Walnut
- Karndean Korlok Select Vinyl - Warm Brushed Oak
- Ferrari BK - Via del Centro Tile
- Walker Zanger Villa D'Oro Tile - Palermo Sage
- Polished Concrete
- Carpet
- Legend 3  
1" = 1'-0"

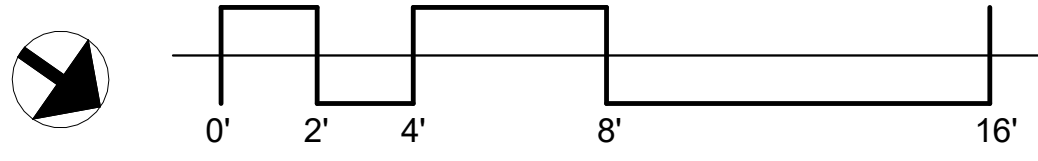
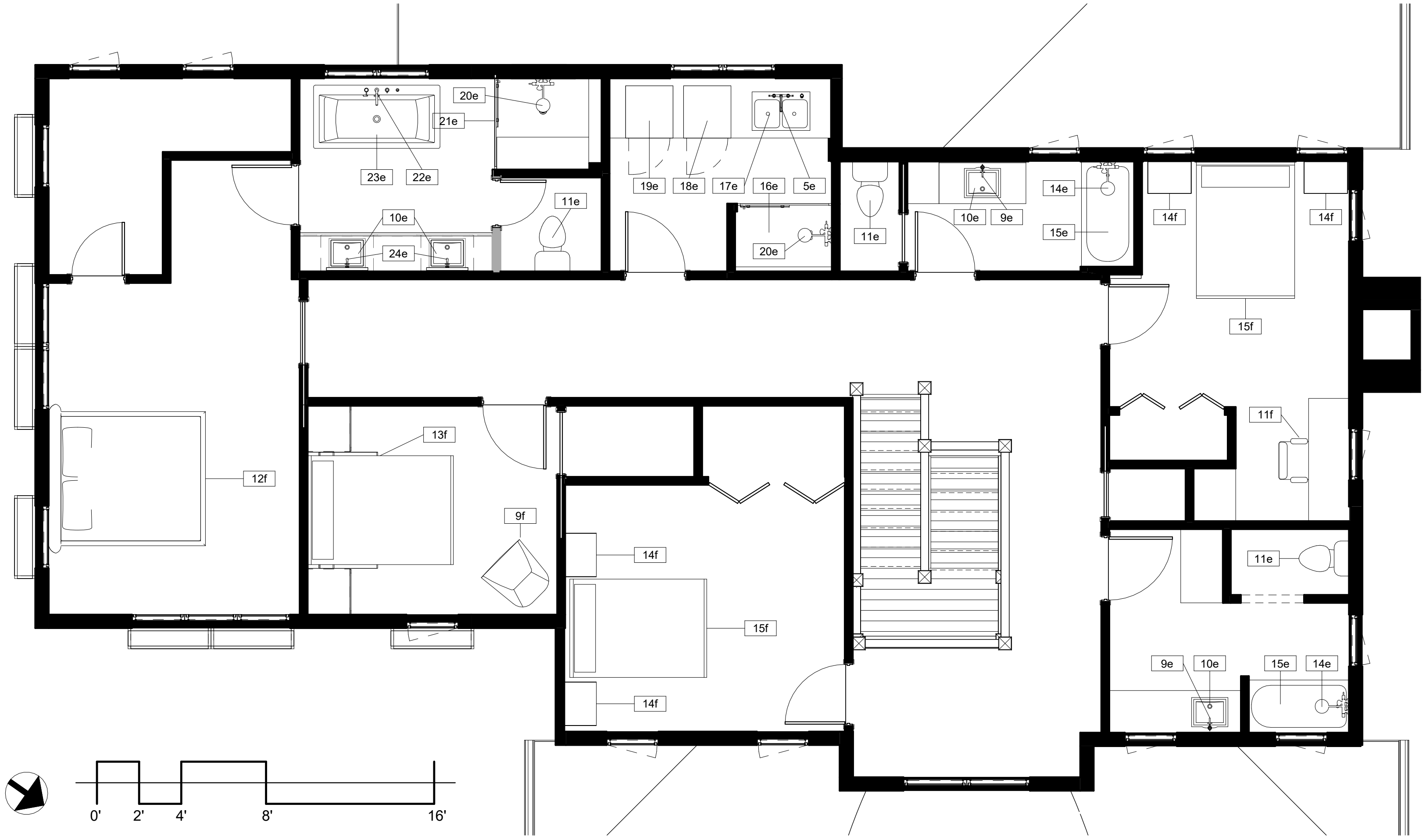
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① Level 1 Copy 3  
1/4" = 1'-0"



② Level 2 Copy 2  
1/4" = 1'-0"

Equipment Schedule												
Type Mark	Type	Width	Depth	Height	Room	Mounting Location	Manufacturer Name	Model Name	Model Number	Main Material	Finishes	Count
1e	Refrigerator	3' - 6"	2' - 0"	7' - 0"	Kitchen	N/A	Sub-Zero	Panel Redy French Door Refrigerator with Internal Dispenser	BI-42UFDID	N/A	Panels Painted in PPG Whiskers	1
2e	Wall Oven	2' - 5 1/2"	2' - 1 3/4"	4' - 3 7/8"	Kitchen	N/A	Viking	Electric Double Premiere Oven	VDOE530PG	Stainless Steel	Stainless Steel and Pacific Gray	1
3e	Gas Range	3' - 0"	1' - 9"	0' - 6 3/4"	Kitchen	Flush with Countertop	Wolf	Contemporary Gas Cooktop - 5 Burners	CG365C/S	Stainless Steel	Stainless Steel	1
5e	Faucet	1' - 1 13/16"	0' - 8 19/32"	1' - 1 11/32"	Kitchen/Laundry	Countertop	Brizo	Artesso Bridge Faucet with Side Sprayer	62525L-F-GL	Solid Brass	Luxe Gold	2
6e	Sink	1' - 10"	0' - 9 5/8"	2' - 9"	Kitchen	Undermount	Kohler	Cape Dory Undermount Single-Bowl Kitchen Sink	K-5864-SU	Cast Iron	White Enamel	1
7e	Microwave	2' - 5 1/4"	1' - 9 1/2"	1' - 7 19/32"	Kitchen	N/A	Zline	Built-In Convection Microwave Oven with 1.6 Cu. Ft. Capacity	MW030BS	Stainless Steel	Stainless Steel	1
8e	Coffee Maker	1' - 11 1/2"	1' - 9 3/4"	1' - 6"	Kitchen	N/A	Miele VitroLine	Built-In Plumbed Coffee System with M Touch Controls	CVA7845	Stainless Steel	Stainless Steel and Black Clean Touch Steel	1
9e	Faucet	0' - 2 1/8"	0' - 6"	0' - 6 1/4"	Powder/Bathrooms	Countertop	Rejuvenation	Tiburcon Single Hole Bathroom Faucet	C109701	Solid Brass	Satin Brass	3
10e	Sink	1' - 8 11/16"	1' - 5 5/16"	0' - 8 5/8"	Powder/Bathrooms	Undermount	Kohler	Memoirs Undermount Bathroom Sink	K-2339-0	Cast Iron	White Enamel	5
11e	Toilet	1' - 6 7/8"	2' - 6 3/8"	2' - 7 5/32"	Powder/Bathrooms	Floor	Kohler	Memoirs Stately Elongated Comfort Height Two-Piece Toilet	K-3817-0	White Porcelain	White Porcelain	4
12e	Refrigerator	2' - 0"	1' - 11 1/8"	2' - 10 1/2"	Bar	N/A	Sub-Zero	24" Designer Undercounter Wine Storage - Panel Ready	DEU2450W	Stainless Steel	Stainless Steel and Glass	1
13e	Fireplace	3' - 6"	1' - 7 5/16"	1' - 10"	Living	In Wall	Empire	Premium Tahoe Direct Vent Gas Fireplace	M35130852	Metal	Matte Black	1
14e	Bath/Shower Fixture	0' - 7"	0' - 9 3/4"	5' - 8"	Bathrooms	Wall	Rejuvenation	Connor Cross Handle Pressure Balanced Tub & Shower Set	C6450	Solid Brass	Aged Brass	2
15e	Tub	5' - 0"	2' - 6"	1' - 6 1/4"	Bathrooms	Drop-In	Hydro Systems	Designer Solitude Acrylic Back to Wall Drop-In Tub	SOL6030ATO-WH	White Acrylic	White Acrylic	2
16e	Shower	5' - 0"	3' - 0"	0' - 3 1/4"	Laundry	Floor	MTI Baths	Boutique Shower Base	MTSB-SS6036HD	SculptureStone	Soft Matte SculptureStone	2
17e	Sink	2' - 9"	1' - 10"	0' - 9 5/8"	Laundry	Undermount	Kohler	Brookfield Undermount Double-Equal Kitchen Sink	K-5846-SU-0	Cast Iron	White Enamel	1
18e	Washer	1' - 11 1/2"	2' - 1 3/8"	2' - 9 1/2"	Laundry	N/A	Miele USA	W1 Front-Load Washing Machine	WXR860 WCS	Metal	Lotus White	1
19e	Dryer	1' - 11 1/2"	2' - 1 3/8"	2' - 9 1/2"	Laundry	N/A	Miele USA	T1 Heat-Pump Dryer	TXR860WP	Metal	Lotus White	1
20e	Shower Fixture	0' - 7 1/4"	0' - 6"	5' - 8"	Laundry/Master Bath	Wall	Rejuvenation	Tiburcon Thermostatic Shower Set with Handshower	C109987	Solid Brass	Satin Brass	2
21e	Shower	5' - 6"	3' - 0"	0' - 3 1/4"	Master Bath	Floor	MTI Baths	Boutique Shower Base	MTSB-SS6636HD	SculptureStone	Soft Matte SculptureStone	1
22e	Faucet	0' - 9 1/4"	0' - 9 5/8"	1' - 3 1/2"	Master Bath	Tub Top Deck	Rejuvenation	Blair Lever Handle Deck Mounted Tub Filler with Handshower	C8344	Solid Brass	Aged Brass	1
23e	Tub	5' - 10"	3' - 0"	1' - 10"	Master Bath	Floor	Hydro Systems	Studio Collection Charlize Soaker Tub	SCHR7036ATO-W HI	White Acrylic	White Acrylic	1
24e	Faucet	1' - 0"	0' - 9 1/8"	0' - 3 5/8"	Master Bath	Wall	Rejuvenation	Connor Lever Handle Wall Mound Faucet	C4408	Solid Brass	Aged Brass	2

Furniture Schedule												
Type Mark	Furniture Type	Width	Depth	Height	Level	Manufacturer	Model	Model Number	Base Material	Upholstery Material/Secondary Material	Count	Comments
1f	Kitchen Stool	1' - 11"	1' - 11"	3' - 2"	Level 1	Rejuvenation	Dexter Swivel Couter Height Stool	D101669	Walnut	Nutmeg Leather	5	
2f	Dining Chair	1' - 9 3/8"	2' - 0 3/4"	2' - 9 3/8"	Level 1	Rejuvenation	Dexter Side Chair	D105159	Walnut	Linen Blend Ivory	4	
3f	Dining Table	4' - 3 3/16"	4' - 3 3/16"	2' - 3 3/4"	Level 1	Vipp	Cabin Round Table	VIPP494	Oiled Light Oak	Light Grey Marble	1	
4f	Sofa	7' - 7 11/32"	2' - 8 29/32"	2' - 1 13/16"	Level 6	Safavieh Couture	Winford Round Arm Sofa	P00695813	Espresso Wood	Giotto Dark Olive Green Velvet	1	
5f	Chair	2' - 10"	3' - 2"	3' - 8 1/2"	Level 1	Rejuvenation	Clinton Modern Wingback Chair	D106804	Dark Wood	Belgian Linen White	1	
6f	Coffee Table	4' - 0"	2' - 8"	1' - 4"	Level 1	Rejuvenation	Woodson Coffee Table	D101167	Walnut	N/A	1	
7f	Loveseat	6' - 6"	3' - 1"	2' - 11"	Level 1	One Kings Lane	Brooke Sofa	77546455	Latte Wood	Natural Herringbone Polyester Blend	1	
8f	Coffee Table	2' - 9"	2' - 9"	1' - 1 1/2"	Level 1	Pernella Decor	Pernella Petite Round Coffee Table	CSL3312/NG	Nero St. Gabriel Marble	N/A	1	
9f	Chair	2' - 6 3/4"	2' - 7 3/32"	2' - 6 5/16"	<varies>	Lebom	Rondo Low Armchair with Armrests	N/A	N/A	Interior Define Performance Antimicrobial Chenille Limestone	5	COM
10f	Bench	4' - 11"	1' - 2"	1' - 7"	Level 1	Rejuvenation	Perkins Spindle Bench	D0876	Walnut	N/A	1	
11f	Chair	2' - 0"	2' - 4"	3' - 1"	<varies>	Simple Relax	Genuine Leather Conference Chair	SMRY5567	Steel	Cocoa Leather	2	
12f	Bed	6' - 5 1/2"	7' - 8 1/2"	5' - 0"	Level 2	Tommy Bahama Home	Villa Park Upholstered Bed King	575-144C	Sierra Tan Wood	Mirage Olefin	1	
13f	Murphy Bed	5' - 5 1/2"	1' - 3 7/8"	7' - 4 7/16"	Level 2	Murphy Wall Beds	The Lancaster Murphy Bed Vertical Queen	N/A	Maple	Saybrook Sage Paint	1	
14f	Nightstand	2' - 10"	1' - 8"	2' - 6"	Level 2	Barclay Butera	Cliff Nightstand	920-621	Sandstone Wood	N/A	4	
15f	Bed	5' - 6 3/4"	7' - 4 1/2"	4' - 8"	Level 2	Lexington	Barrington Upholstered Platform Bed Queen	LTN3281	Dark Wood	Brushed Rose Gold Polyester	2	

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MILHAVEN MANOR RENOVATION

200 DARES FERRY  
RD, SPARTANBURG,  
SC, 29302

ISSUE FOR: CODE REVIEW

Date	Issue Date
Drawn By	KB
Checked By	JG

Furniture Plan

A4



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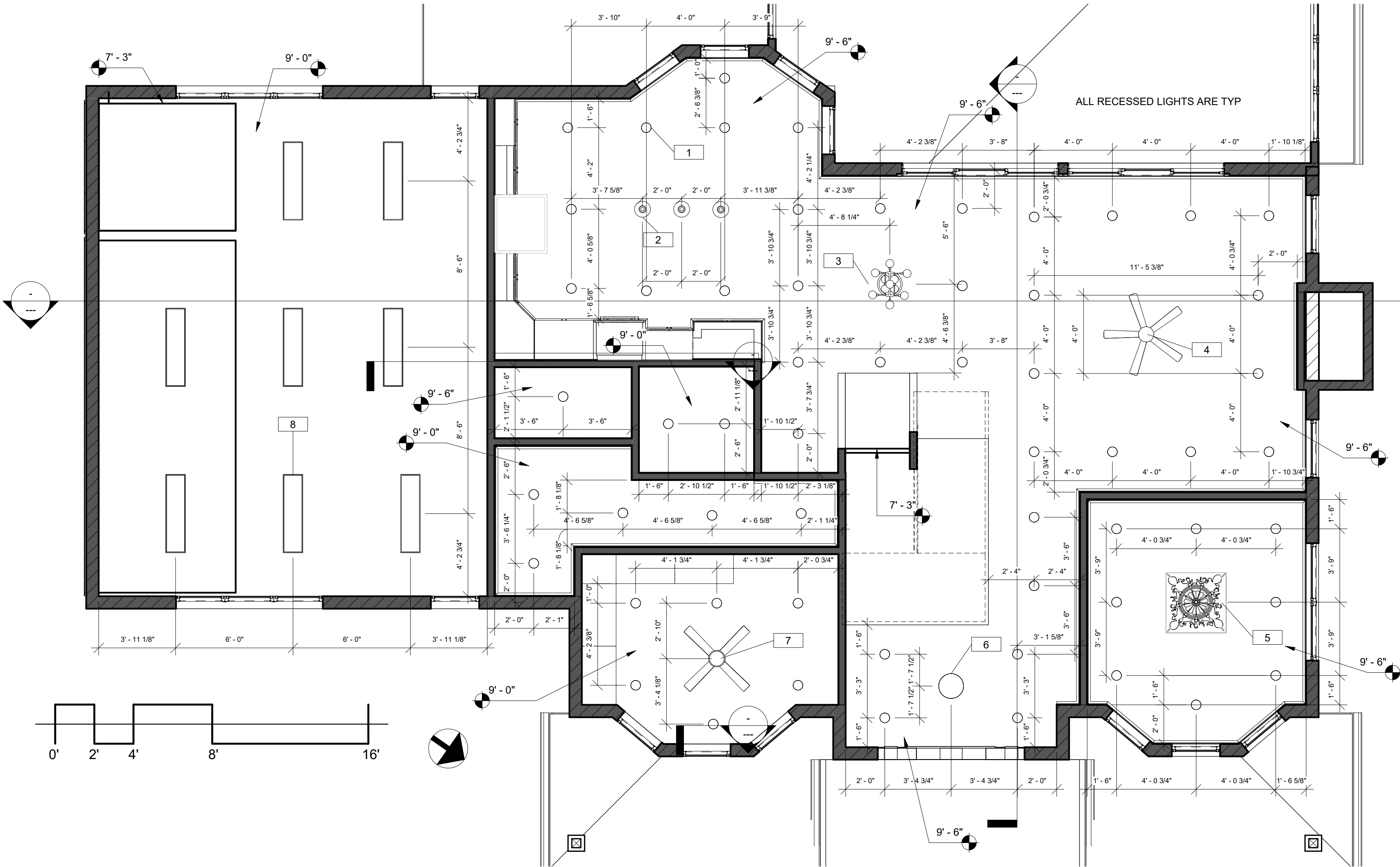
Reflected Ceiling Plan

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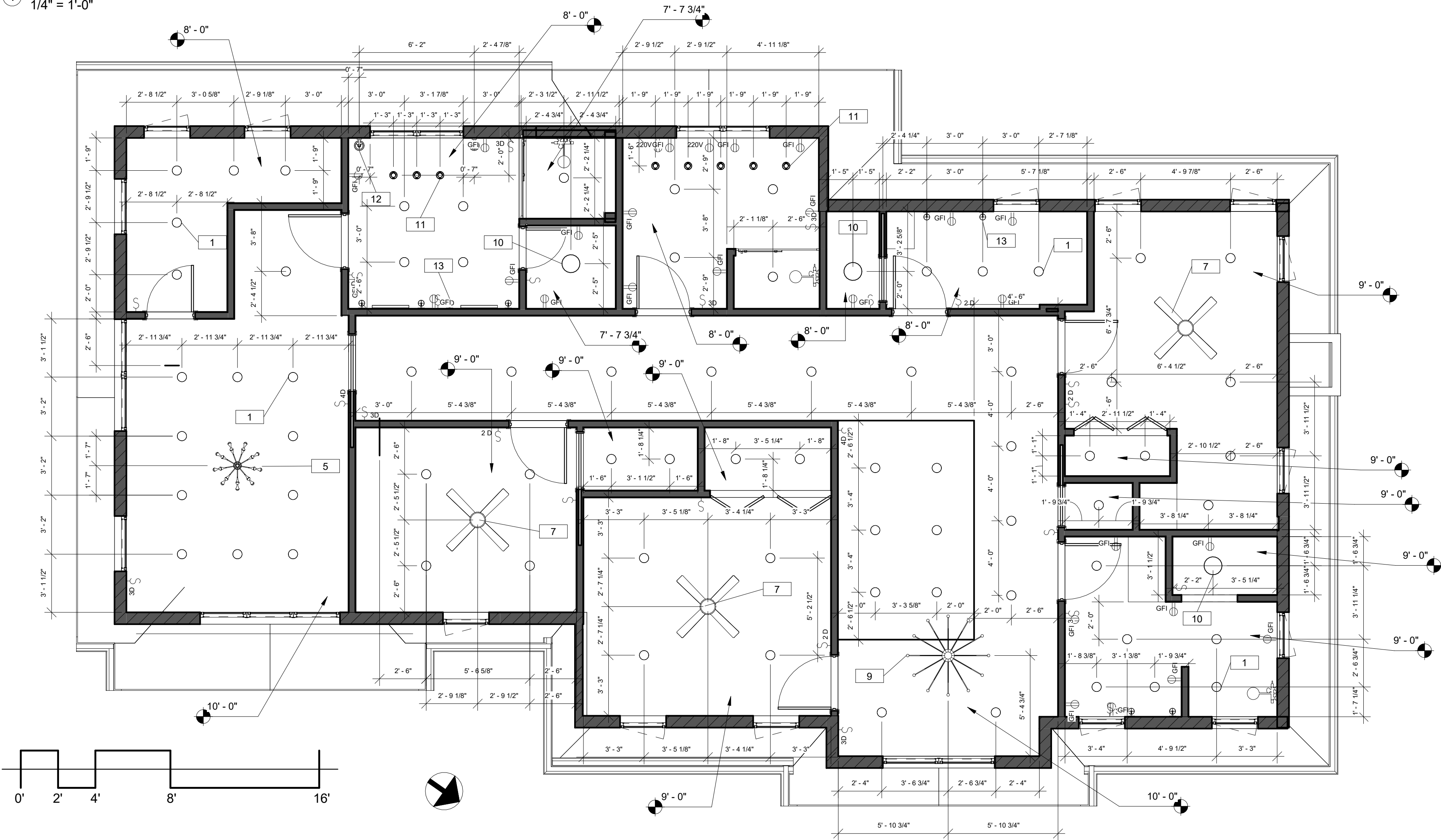
Lighting Fixture Schedule							
Type Mark	Type	Manufacturer Name	Model Name	Model Number	Wattage	Efficacy	Count
1	Recessed	WAC Lighting	Volta Shallow 4.5 Round Downlight	R4RD1T-F830-CB	36 W	14 lm/W	136
2	Pendant	Rejuvenation	Yeon Globe Pendant	A1658	44 W	14 lm/W	3
3	Chandelier	Rejuvenation	Salem Bare-Bulb Chandelier	A2166	269 W	14 lm/W	1
4	Ceiling Fan	Modern Forms	Aviator Smart Ceiling Fan	NDNH1442			1
5	Chandelier	Rejuvenation	Winfield 6-Light Large Chandelier	A3673	144 W	14 lm/W	2
6	Flush Mount	Rejuvenation	Ankeny 16" Alabaster LED Flush Mount Fixture	A4105			1
7	Ceiling Fan	Minka Aire	Pancake Ceiling Fan	MKA10241			4
8	LED Panel	Sylvania	1X4 Back-Lit LED Flat Panel	SYL-62316	40 W	79 lm/W	9
9	Chandelier	Rejuvenation	Ansel 8-Light Chandelier	A5578	60 W	14 lm/W	1
10	Flush Mount with Vent Fan	Utilitech	Ventilation Fan Lighted Bathroom Fan	7115-03	7 W	149 lm/W	3
11	Recessed Spot Light	WAC Lighting	Oculux 3.5IN Round 0-35 Degree Adjustable	R3BRA-F930-BN	12 W	149 lm/W	8
12	Wall Sconce	Rejuvenation	Eastmoreland 2-1/4" Fitter Arched Wall Sconce	A6921			2
13	Wall Sconce	Rejuvenation	Rigdon Single Sconce	A2790	60 W	120 lm/W	8

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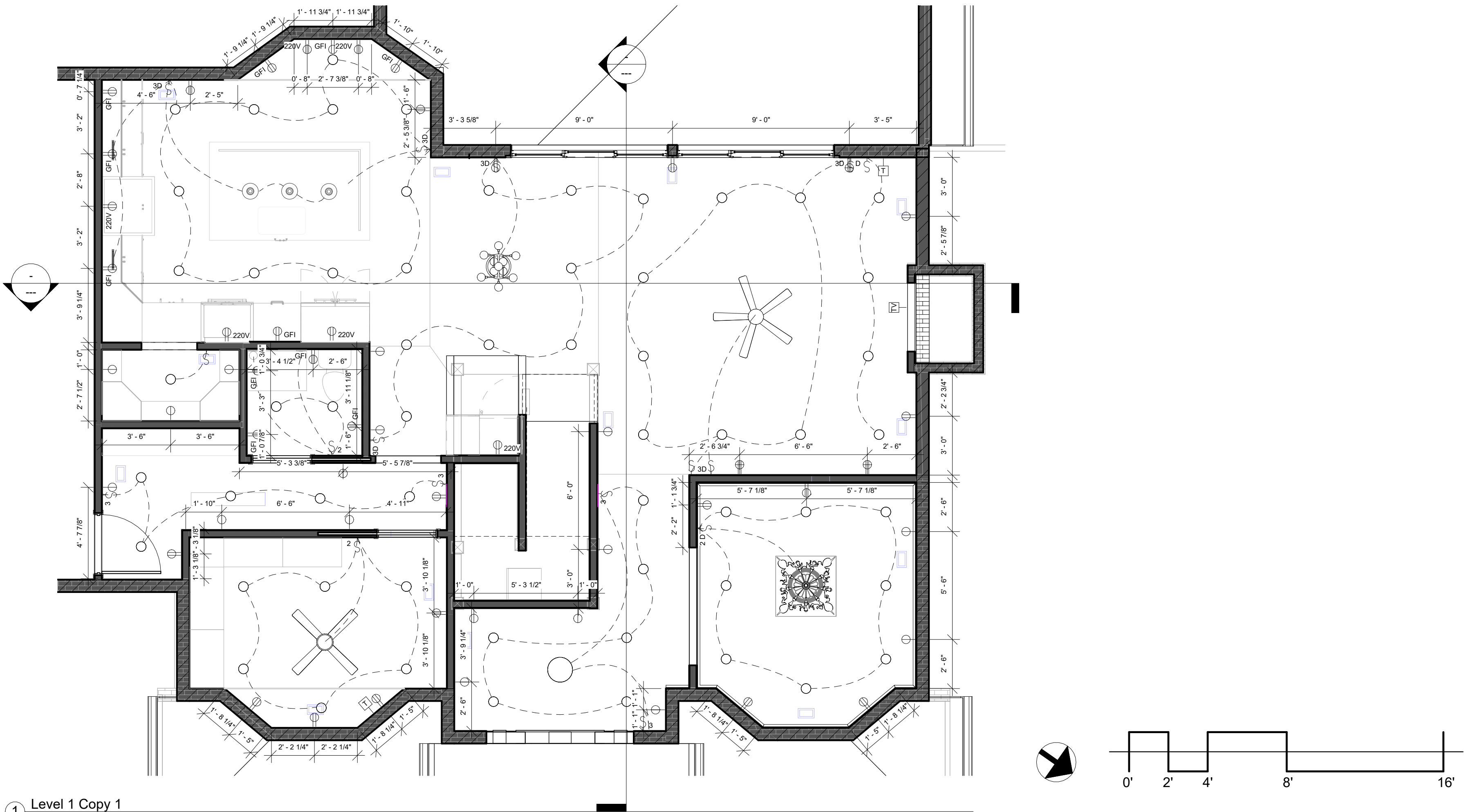


① Level 1  
1/4" = 1'-0"

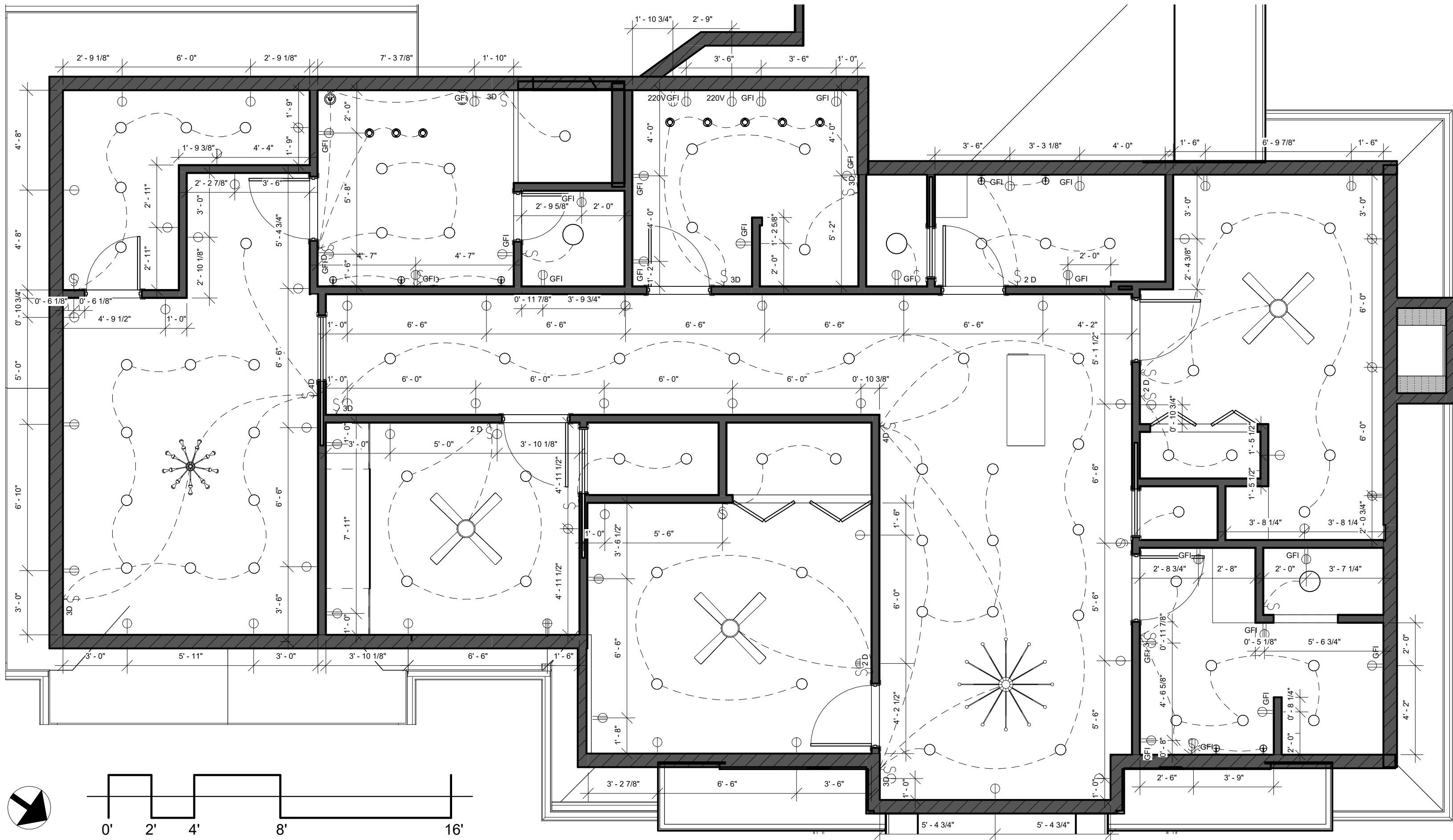


② Level 2  
1/4" = 1'-0"




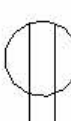

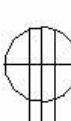












① Level 1 Copy 1  
1/4" = 1'-0"



② Level 2 Copy 1  
1/4" = 1'-0"

	
Single Switch	Single Outlet
	
Single Switch Dimmer	Duplex Outlet
	
Double Switch	Triplex Outlet
	
Double Switch Dimmer	GFI Outlet
	
Three Way Switch	220V GFI Appliance Outlet
	
Three Way Switch Dimmer	Tele Communications
	
Four Way Switch Dimmer	CATV Communications

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CLIENT:

MILHAVEN MANOR RENOVATION

200 DARES FERRY  
RD, SPARTANBURG,  
SC, 29302

ISSUE FOR: CODE REVIEW

Date Issue Date  
Drawn By KB  
Checked By JG

Finishing Plan Level 1

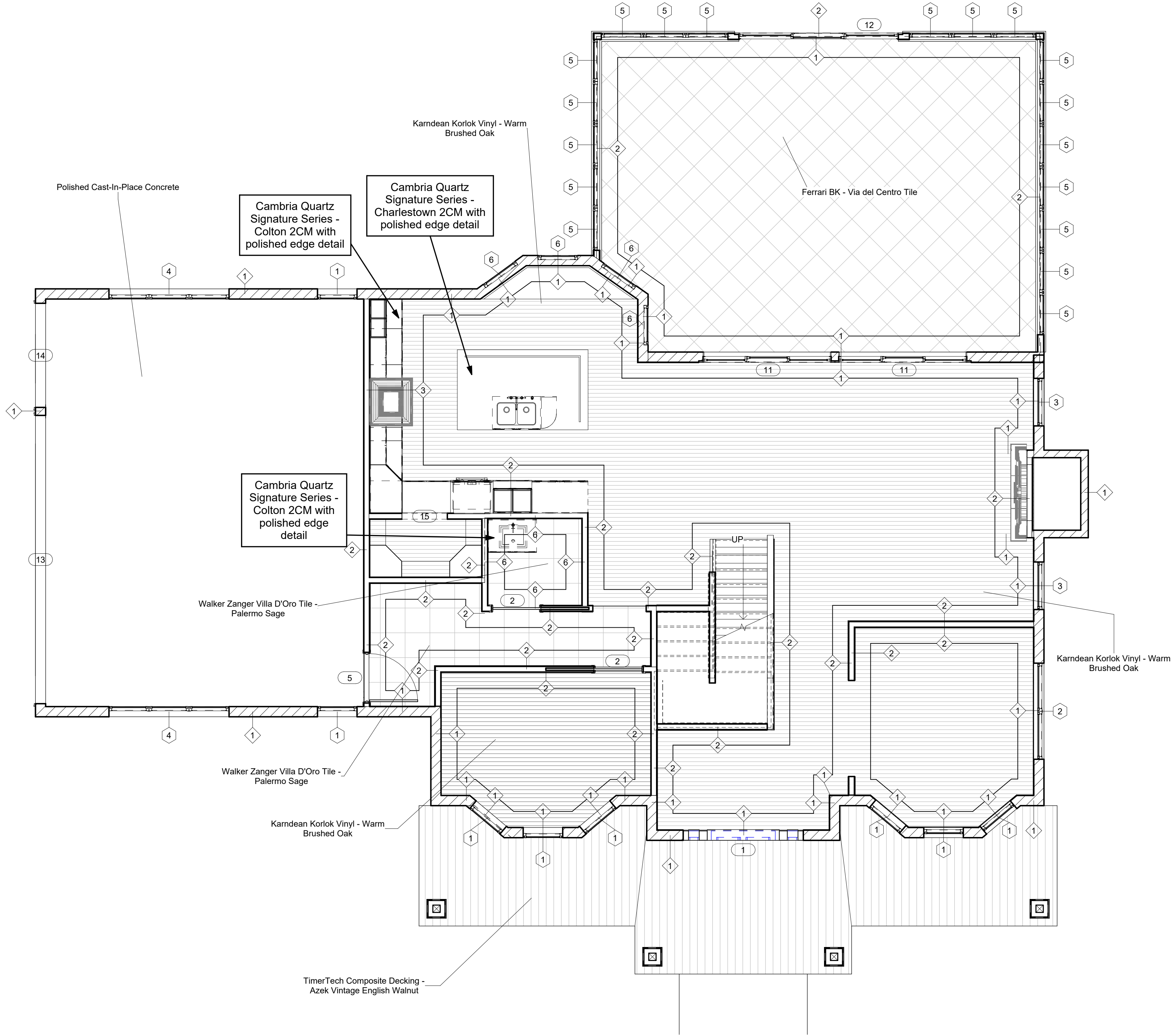
A7a

- 1i Wall Tag
- 101 Door Tag
- 1t Window Tag
- TimberTech Composite Decking - Azek Vintage English Walnut
- Karndeane Korlok Select Vinyl - Warm Brushed Oak
- Ferrari BK - Via del Centro Tile
- Walker Zanger Villa D'Oro Tile - Palermo Sage
- Polished Concrete
- Carpet

Legend 3  
1" = 1'-0"

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1 FINISH PLAN LEVEL 1  
1/4" = 1'-0"

Wall Schedule						
Mark	Description	Family	Function	Material main	Structural Material	Finish
1	White Wash Brick	Basic Wall	Exterior	White Wash Brick	White Brick	White Wash Brick
2	GWB on Wood Stud	Basic Wall	Interior	GWB	Softwood, Lumber	PPG 1025-2 Silent Smoke
3	Slab over Wood Stud	Basic Wall	Interior	Solid Slab	Softwood, Lumber	Cambria Quartz - Colton Signature Series
4	Patio Retaining Wall	Basic Wall	Exterior	Concrete	Block - York Arctic White	Retaining Block - York
5	Front Porch Skirting	Basic Wall	Foundation	White Wash Brick	White Brick	White Wash Brick
6	Tile on Wood Stud	<varies>	Interior	Tile	Softwood, Lumber	Bedrosian's Tile Cloe - Creme

Floor Schedule					
Type	Level	Family	Description	Function	Use Location
Ferrari BK - Via del Centro	Level 1	Floor	Pavers	Exterior	Sunroom, Exterior Walkways, Back Patio
Wood Joist 10" - Carpet Finish	Level 2	Floor	Carpet	Interior	Bedroom A
Wood Joist 10" - Ceramic Tile	<varies>	Floor	Tile	Interior	Mudroom, Powder Room, Bathrooms, Laundry
Wood Joist 10" - Wood Finish	<varies>	Floor	Wood Floor	Interior	Main Floor, Upstairs Hallway, Master Bedroom
Wood Joist 10" - Wood Finish 2	Level 1	Floor	Composite Decking	Interior	Front Deck
Wood Truss Joist 12" - Carpet Finish	Level 2	Floor	Carpet	Interior	Bedrooms B and C



CLIENT:

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200 DARES FERRY  
RD, SPARTANBURG,  
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ISSUE FOR: CODE REVIEW

Date  
Drawn By  
Checked By

Issue Date  
KB  
JG

Finishing Plan Level 2

A7b

TimberTech Composite Decking - Azek Vintage English Walnut

Karndean Korlok Select Vinyl - Warm Brushed Oak

Ferrari BK - Via del Centro Tile

Walker Zanger Villa D'Oro Tile - Palermo Sage

Polished Concrete

Carpet

1i Wall Tag

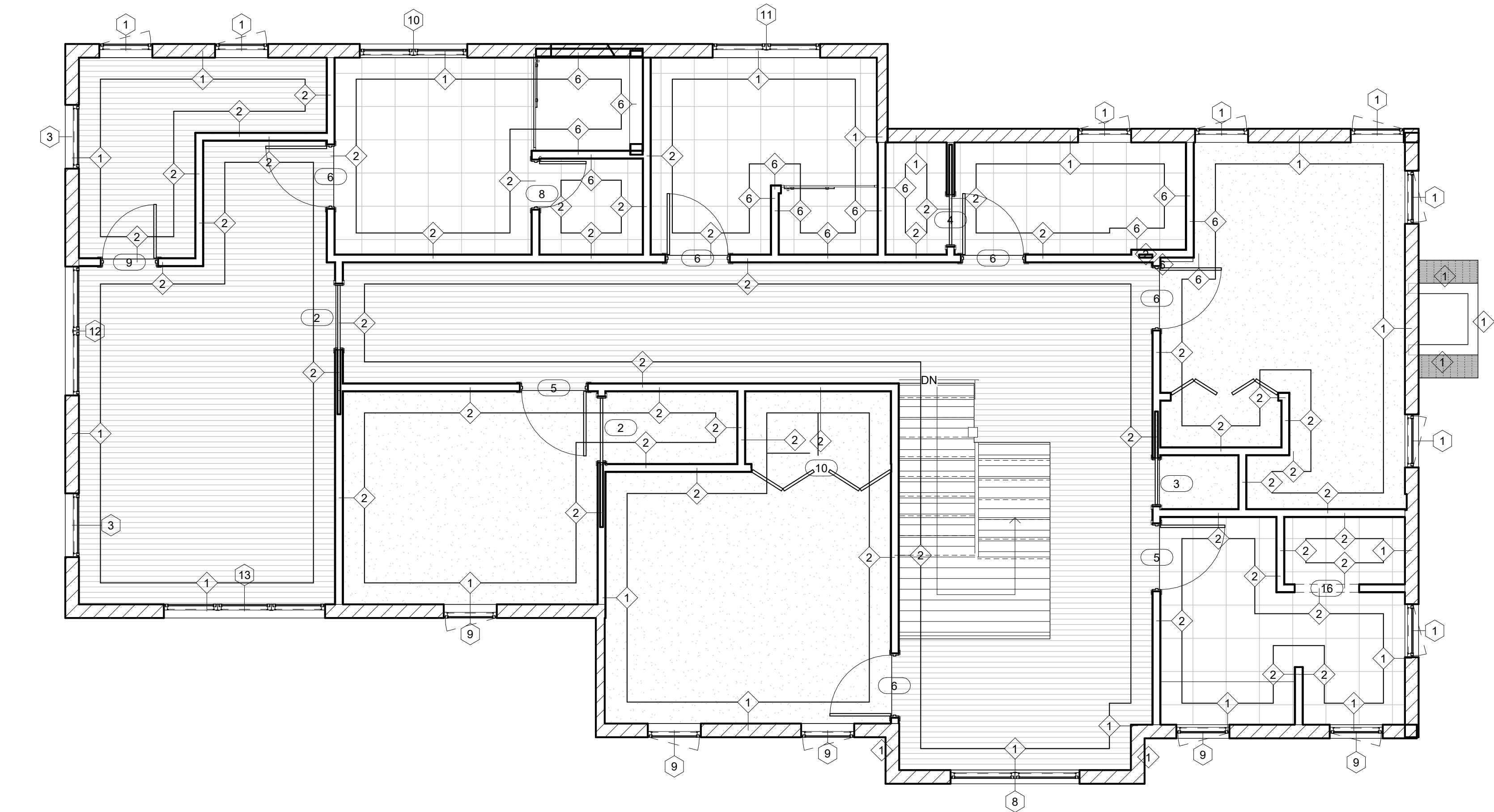
101 Door Tag

1t Window Tag

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1 FINISH PLAN LEVEL 2  
1/4" = 1'-0"

Wall Schedule						
Mark	Description	Family	Function	Material main	Structural Material	Finish
1	White Wash Brick	Basic Wall	Exterior	White Wash Brick	White Brick	White Wash Brick
2	GWB on Wood Stud	Basic Wall	Interior	GWB	Softwood, Lumber	PPG 1025-2 Silent Smoke
3	Slab over Wood Stud	Basic Wall	Interior	Solid Slab	Softwood, Lumber	Cambria Quartz - Colton Signature Series
4	Patio Retaining Wall	Basic Wall	Exterior	Concrete	Block - York Arctic White	Retaining Block - York
5	Front Porch Skirting	Basic Wall	Foundation	White Wash Brick	White Brick	White Wash Brick
6	Tile on Wood Stud	<varies>	Interior	Tile	Softwood, Lumber	Bedrosian's Tile Cloe - Creme

Door Schedule						
Mark	Level	Description	Head Height	Sill Height	Dimensions	Quantity
1	Level 1	Arched Exterior Door	6' - 6"	0' - 0"	6' - 6" x 3' - 0"	1
2	Level 1 & Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 3' - 0"	4
3	Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 2' - 2"	1
4	Level 2	2 Panel Pocket Door	7' - 0"	0' - 0"	7' - 0" x 2' - 4"	1
5	Level 1 & Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 3' - 0"	3
6	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 10"	5
8	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 2"	1
9	Level 2	2 Panel Interior Door	7' - 0"	0' - 0"	7' - 0" x 2' - 6"	1
10	Level 2	<varies>	<varies>	0' - 0"	<varies> x <varies>	2
11	Level 1	Sliding Glass Paito Door	7' - 11 1/2"	0' - 0"	7' - 11 1/2" x 8' - 0"	2
12	Level 1	Sliding Glass Paito Door	9' - 0"	0' - 0"	9' - 0" x 9' - 11 1/2"	1
13	Level 1	Single Wide Arched Top Garage Door	7' - 0"	0' - 0"	7' - 0" x 18' - 0"	1
14	Level 1	Double Wide Arched Top Garage Door	7' - 0"	0' - 0"	7' - 0" x 6' - 6"	1
15	Level 1	Door Opening Hidden Behind Faux Cabinet	0' - 0"	0' - 0"	0' - 0" x 0' - 0"	1
16	Level 2	Door Opening	0' - 0"	0' - 0"	0' - 0" x 0' - 0"	1

Floor Schedule					
Type	Level	Family	Description	Function	Use Location
Ferrari BK - Via del Centro	Level 1	Floor	Pavers	Exterior	Sunroom, Exterior Walkways, Back Patio
Wood Joist 10" - Carpet Finish	Level 2	Floor	Carpet	Interior	Bedroom A
Wood Joist 10" - Ceramic Tile	<varies>	Floor	Tile	Interior	Mudroom, Powder Room, Bathrooms, Laundry
Wood Joist 10" - Wood Finish	<varies>	Floor	Wood Floor	Interior	Main Floor, Upstairs Hallway, Master Bedroom
Wood Joist 10" - Wood Finish 2	Level 1	Floor	Composite Decking	Interior	Front Deck
Wood Truss Joist 12" - Carpet Finish	Level 2	Floor	Carpet	Interior	Bedrooms B and C

Window Schedule						
Mark	Level	Description	Sill Height	Head Height	Dimensions	Quantity
1	Level 2	Single Wide Fixed Casement Window	2' - 6"	7' - 5 3/4"	4' - 11 3/4" x 2' - 5 5/8"	3
1	Level 2	Single Wide Fixed Casement Window	2' - 8"	7' - 7 3/4"	4' - 11 3/4" x 2' - 5 5/8"	5
1	Level 1	Single Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 2' - 5 5/8"	8
2	Level 1	Double Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 6' - 0"	1
3	Level 2	Single Wide Fixed Casement Window	3' - 0"	8' - 11 3/4"	5' - 11 3/4" x 2' - 11 5/8"	2
3	Level 1	Single Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 2' - 11 5/8"	2
4	Level 1	Triple Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 7' - 6"	2
5	Level 1	Single Wide Fixed Casement Window	3' - 0 1/4"	9' - 0"	5' - 11 3/4" x 2' - 7 5/8"	18
6	Level 1	Single Wide Fixed Casement Window	4' - 0"	8' - 11 3/4"	4' - 11 3/4" x 2' - 5 5/8"	4
8	Level 2	Triple Wide Fixed Casement Window	3' - 0"	8' - 11 3/4"	5' - 11 3/4" x 6' - 0"	1
9	Level 2	Single Wide Swinging Casement Window	2' - 8"	7' - 1 3/4"	4' - 5 3/4" x 2' - 5 5/8"	5
10	Level 2	Double Wide Fixed Casement Window	2' - 8"	7' - 7 3/4"	4' - 11 3/4" x 5' - 0"	1
11	Level 2	Double Wide Fixed Casement Window	3' - 0"	7' - 11 3/4"	4' - 11 3/4" x 5' - 0"	1
12	Level 2	CSMT	3' - 0"	9' - 11 3/4"	6' - 11 3/4" x 6' - 0"	1
13	Level 2	CSMT	2' - 8"	8' - 2"	5' - 6" x 7' - 6"	1



CLIENT:

MILHAVEN MANOR RENOVATION

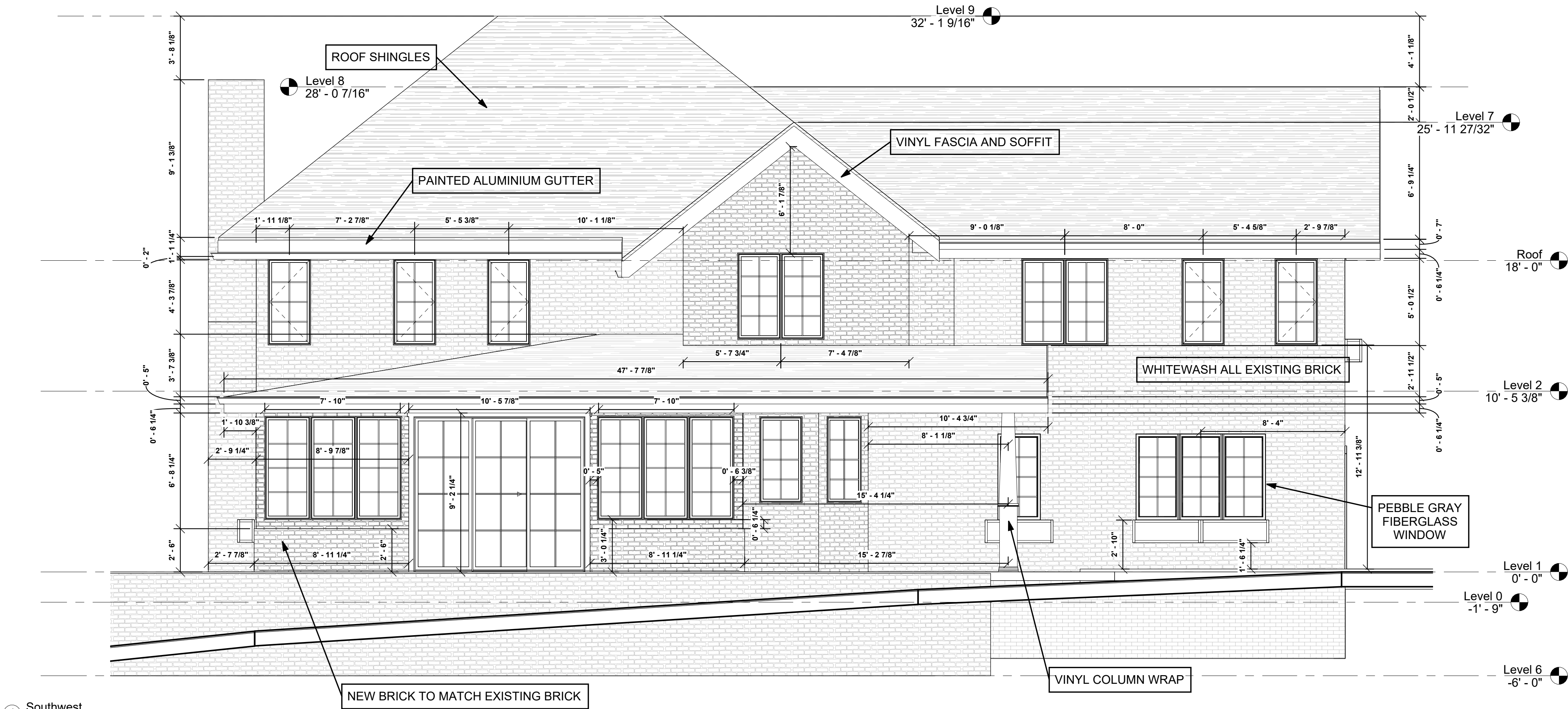
200 DARES FERRY  
RD, SPARTANBURG,  
SC, 29302

ISSUE FOR: CODE REVIEW

Date	Issue Date
Drawn By	KB
Checked By	JG

Exterior Elevations

A8a



① Southwest  
1/4" = 1'-0"



② Northeast  
1/4" = 1'-0"

## GENERAL NOTES

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200 DARES FERRY  
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SC, 29302

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Date	Issue Date
Drawn By	KB
Checked By	JG

Exterior Elevations

A8b

12/8/2022 11:29:53 PM



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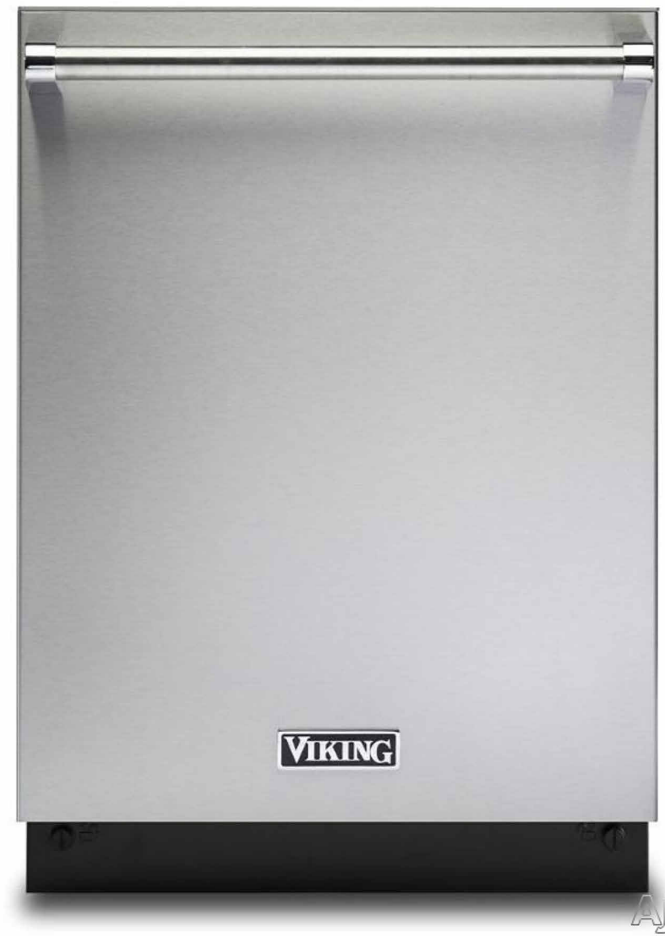
ISSUE FOR: CODE REVIEW

Date  
Drawn By  
Checked By

Issue Date  
KB  
JG

Kitchen Detailed  
Elevations

A9a



DW-1 FULLY INTEGRATED DISHWASHER WITH 16 PLACE SETTING CAPACITY VIKING 23-9/16" W x 22-3/16" D x 33-7/8" H



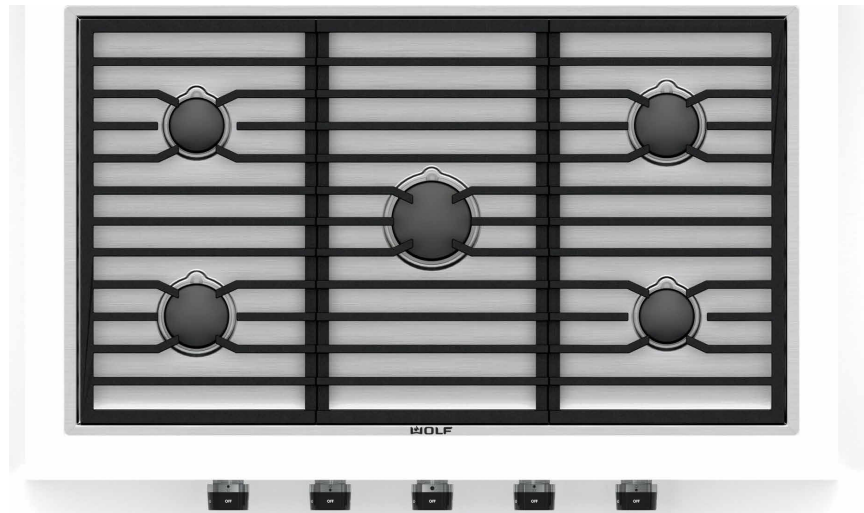
CFM-1 BUILT-IN PLUMBED COFFEE SYSTEM WITH M TOUCH CONTROLS MIELE VITROLINE 23" W x 19-5/8" D x 17-15/16" H



OV-1 ELECTRIC DOUBLE PREMIERE OVEN VIKING #VDOE530PG 29-1/2" W x 51-7/8" H x 25-3/4" D



RF-1 CLASSIC FRENCH DOOR REFRIGERATOR/FREEZER WITH INTERNAL DISPENSER - PANEL READY SUBZERO-WOLF 42" W x 84" H x 24" D



ST-1 36" CONTEMPORARY GAS COOKTOP - 5 BURNERS SUBZERO-WOLF 36" W x 6-3/4" H x 21" D



MW-1 BUILT-IN CONVECTION MICROWAVE OVEN WITH 1.6 CUBIC FOOT CAPACITY ZLINE 29-1/4" W x 21-1/2" D x 19-3/5" H



CAB-1 CUSTOM CABINETRY SOLID MAPLE CONSTRUCTION STAINED IN RUBIO MONOCOAT OIL PLUS 2C IN CHOCOLATE



CAB-2 CUSTOM CABINETRY SOLID MAPLE CONSTRUCTION PPG WHISKERS PAINT COLOR



CLAYBOURNE DRAWER PULL REJUVENATION 1" H x 4", 6", 8", 12" W



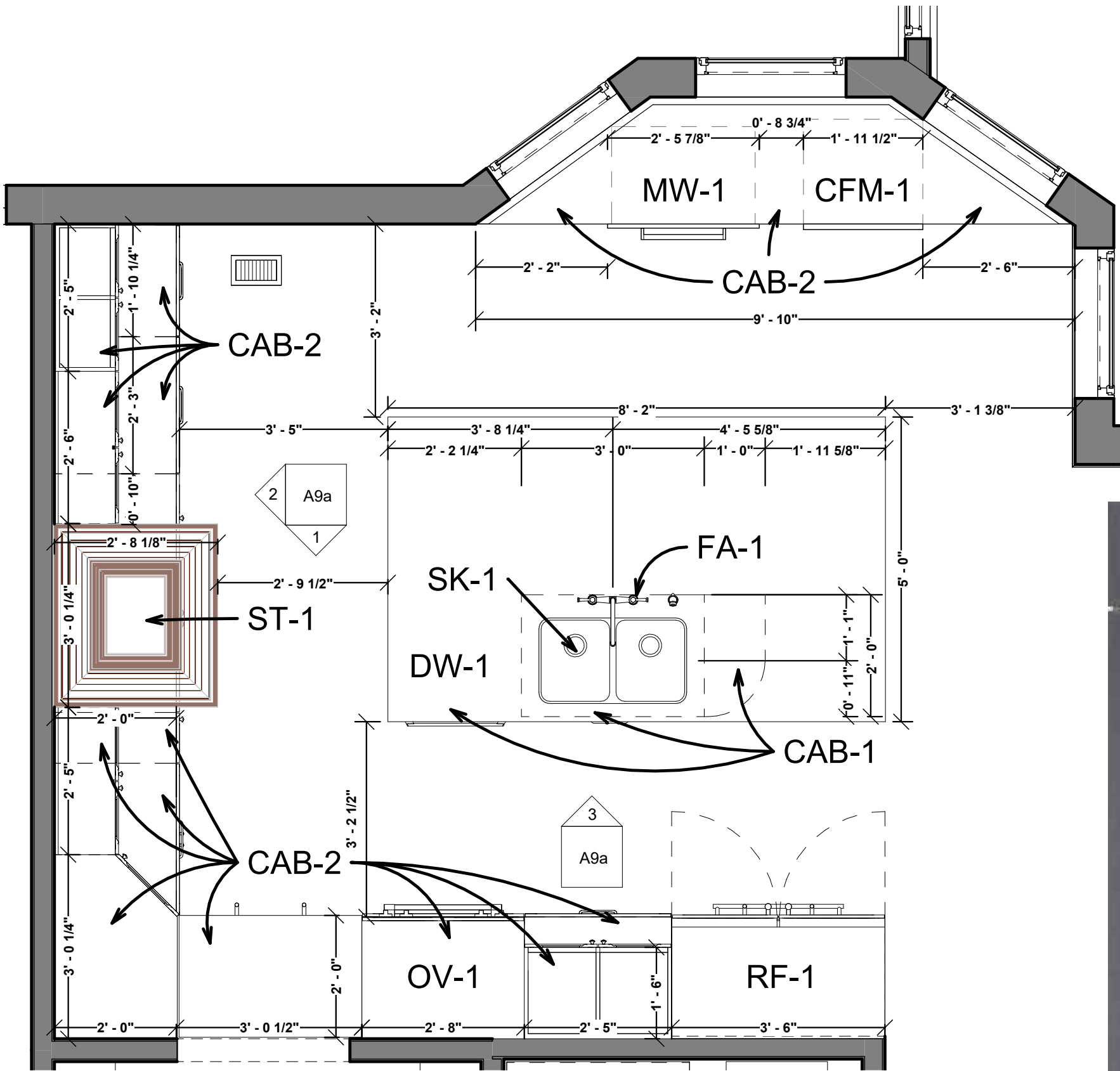
FA-1 ARTESSE BRIDGE FAACET WIITH SIDE SPRAYER BRIZO 13-21/64" H x 13-13/16" W



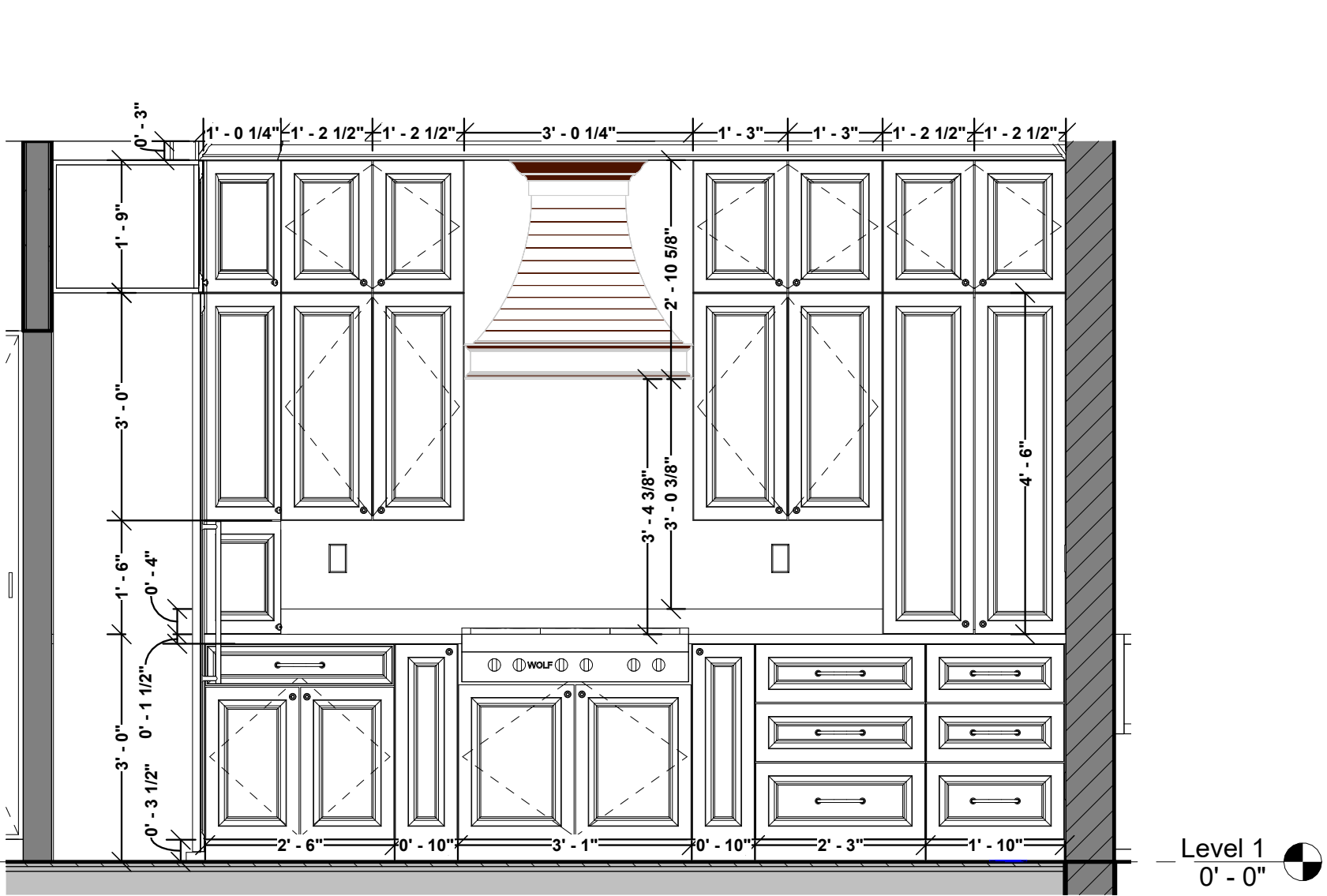
SK-1 UNDERMOUNT SINGLE-BOWL KITCHEN SINK KOHLER 33" L x 22" W x 9-5/8" D



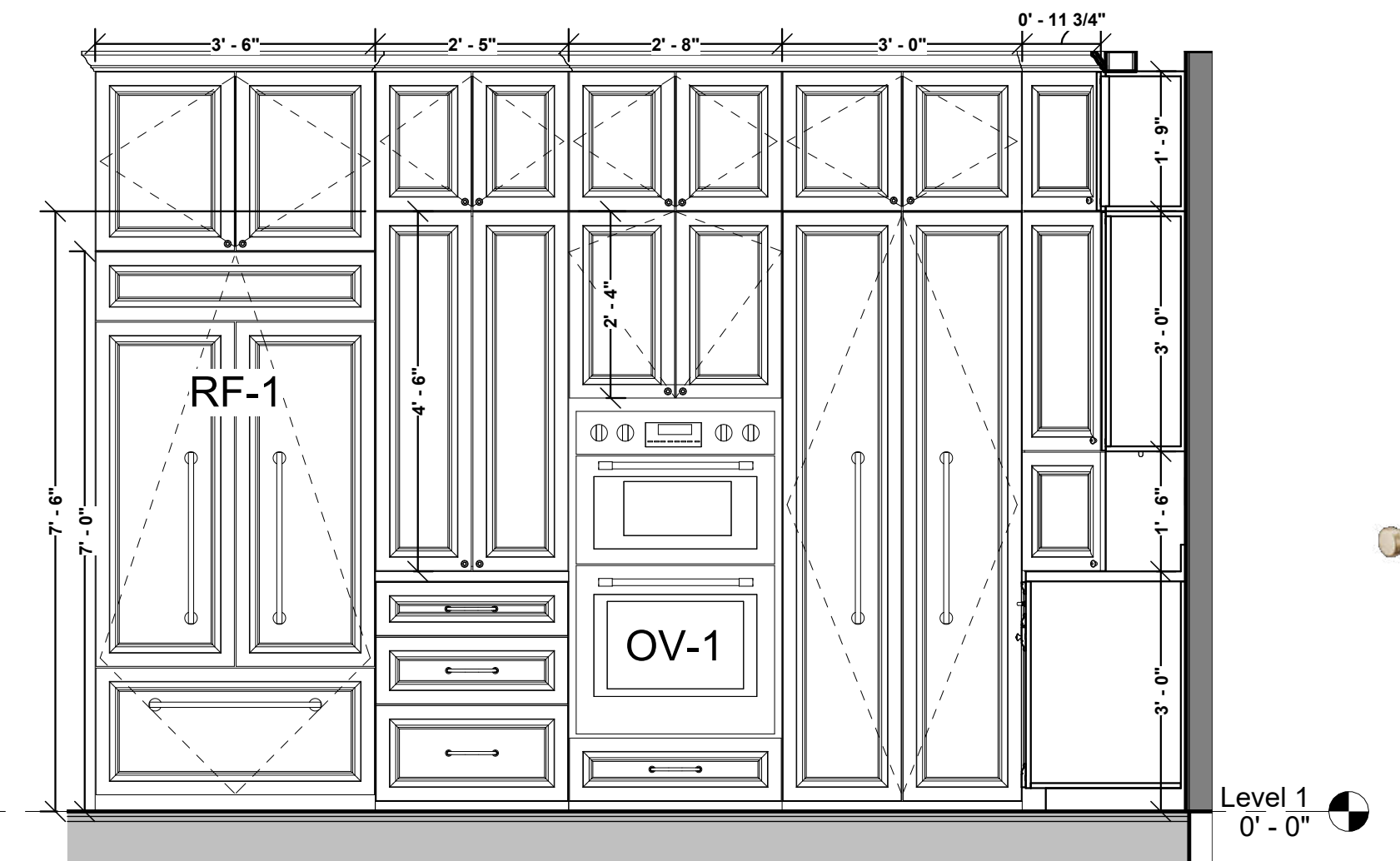
LT-2 YEON 14" GLOBE OENDANT REJUVENATION 42" L x 14" W x 14" SHADE H



4 KITCHEN 1/2" = 1'-0"

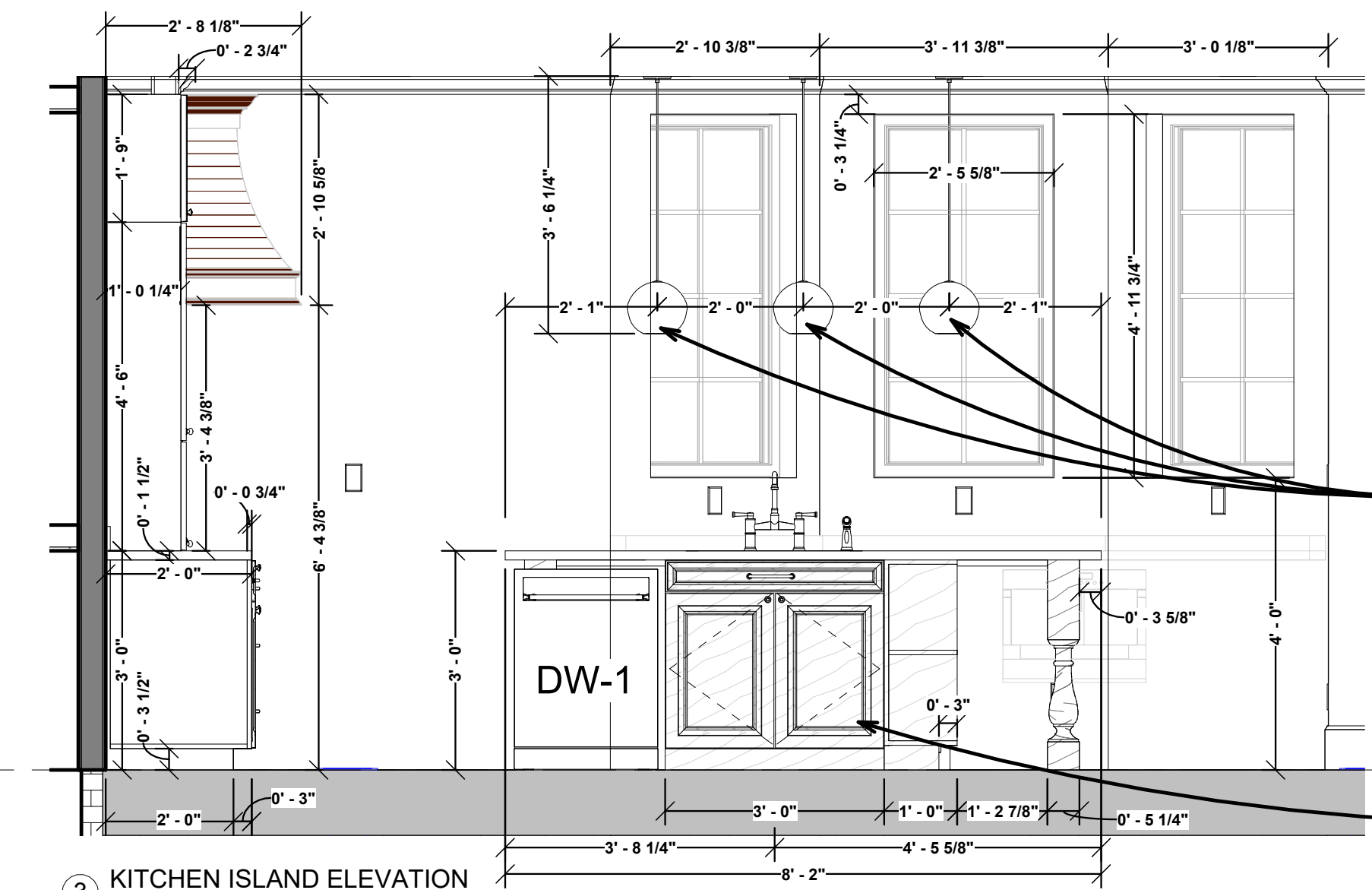


2 WEST KITCHEN WALL ELEVATION 1/2" = 1'-0"



1 SOUTH KITCHEN WALL ELEVATION 1/2" = 1'-0"

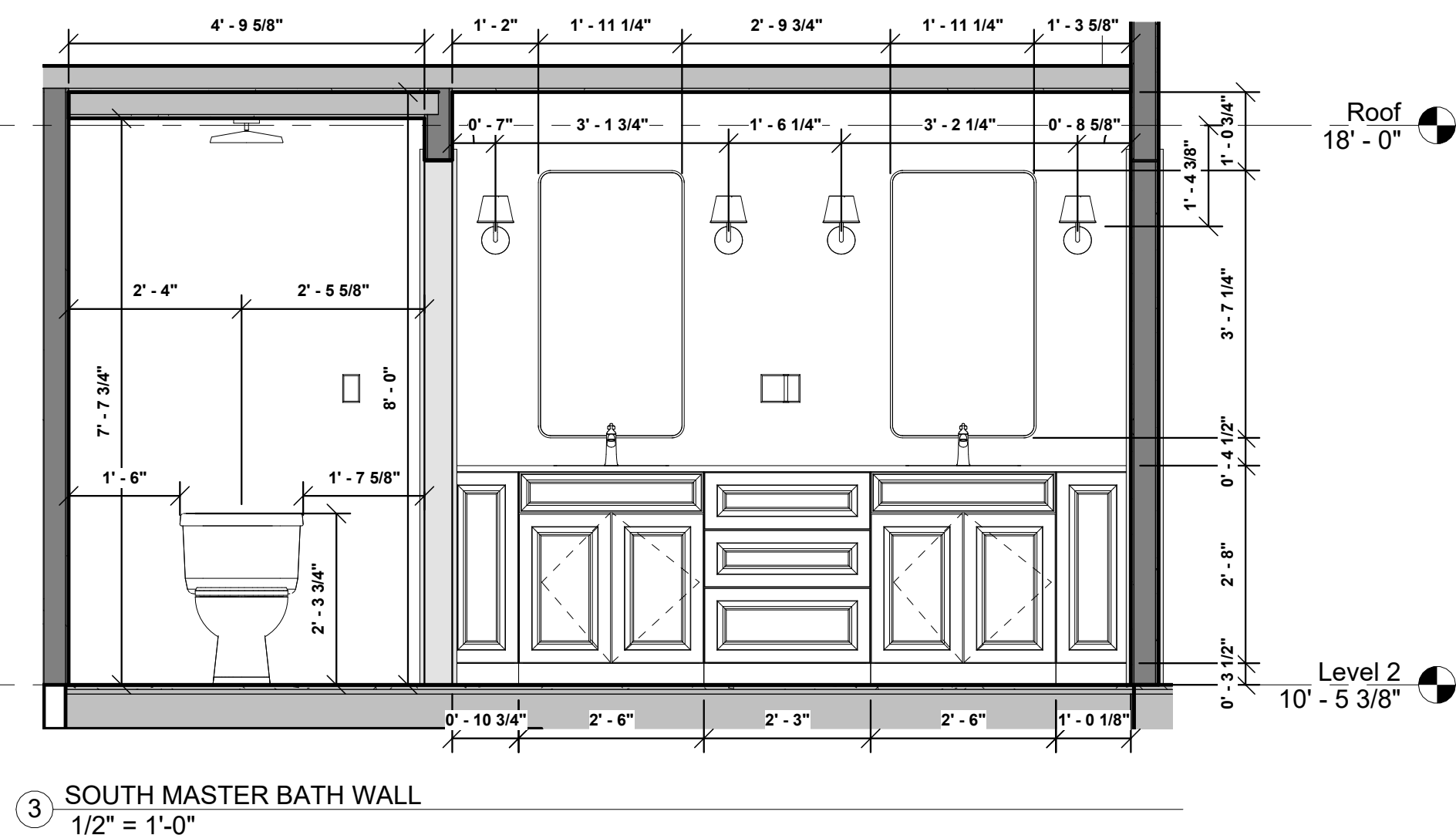
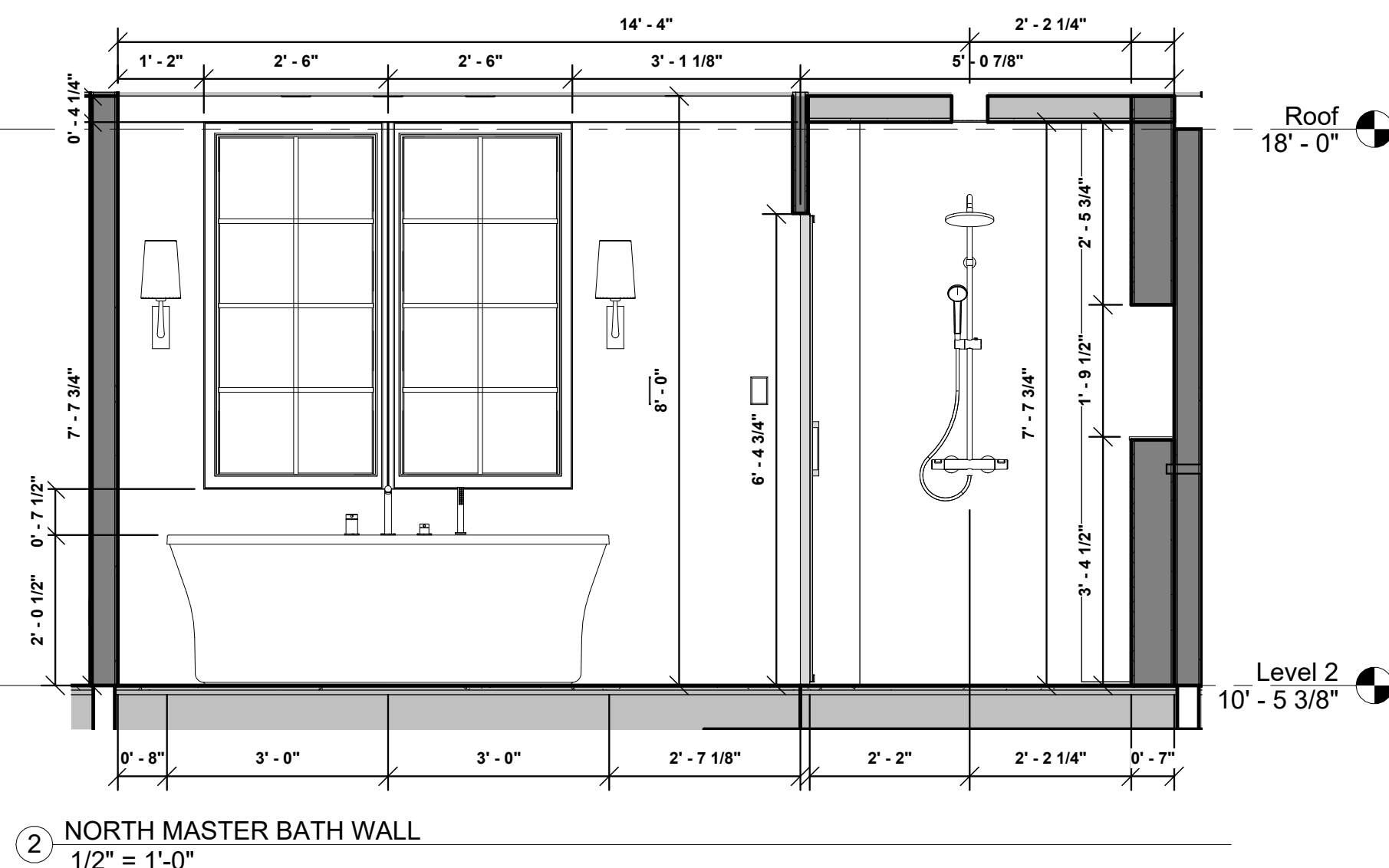
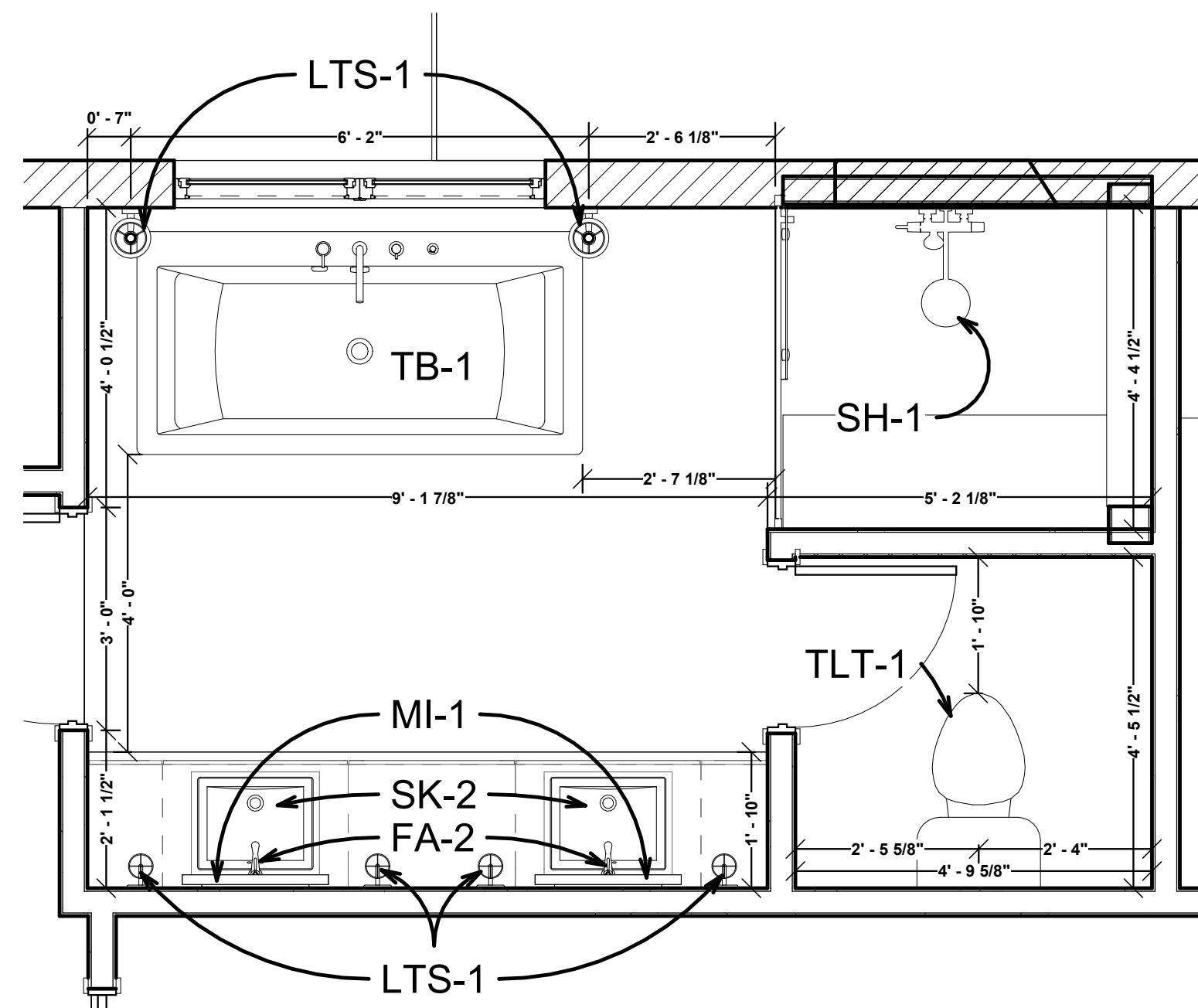
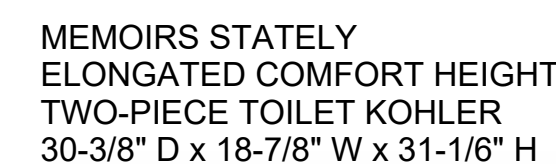
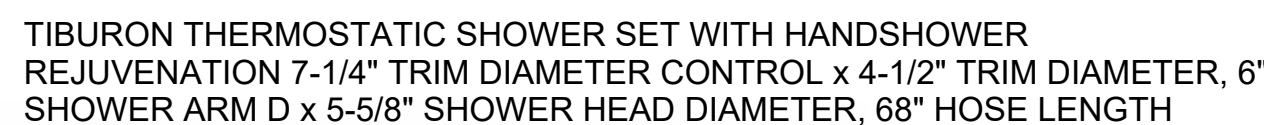
ALL CAB ON WALLS ARE TYPE CAB-2



3 KITCHEN ISLAND ELEVATION 1/2" = 1'-0"

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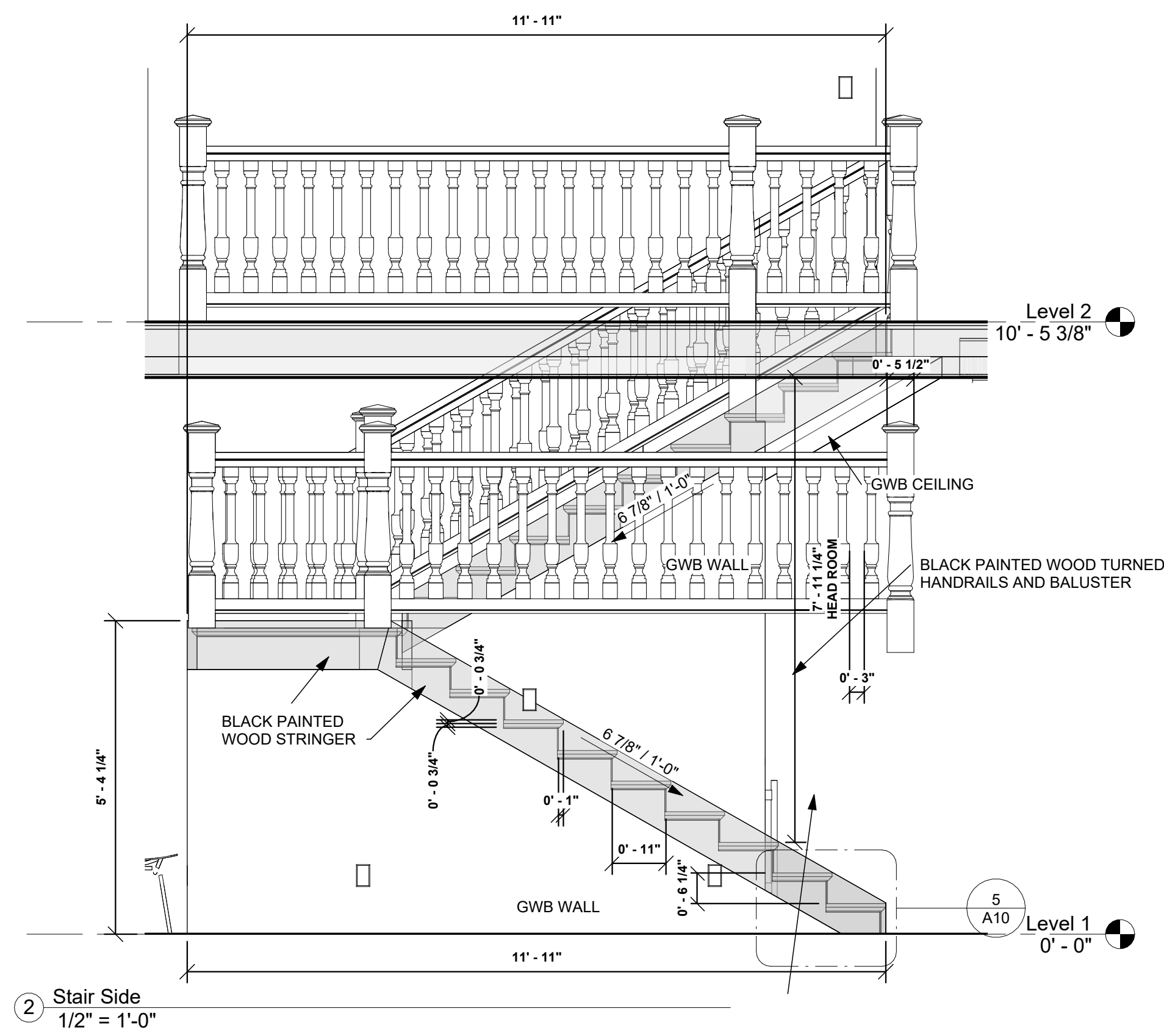
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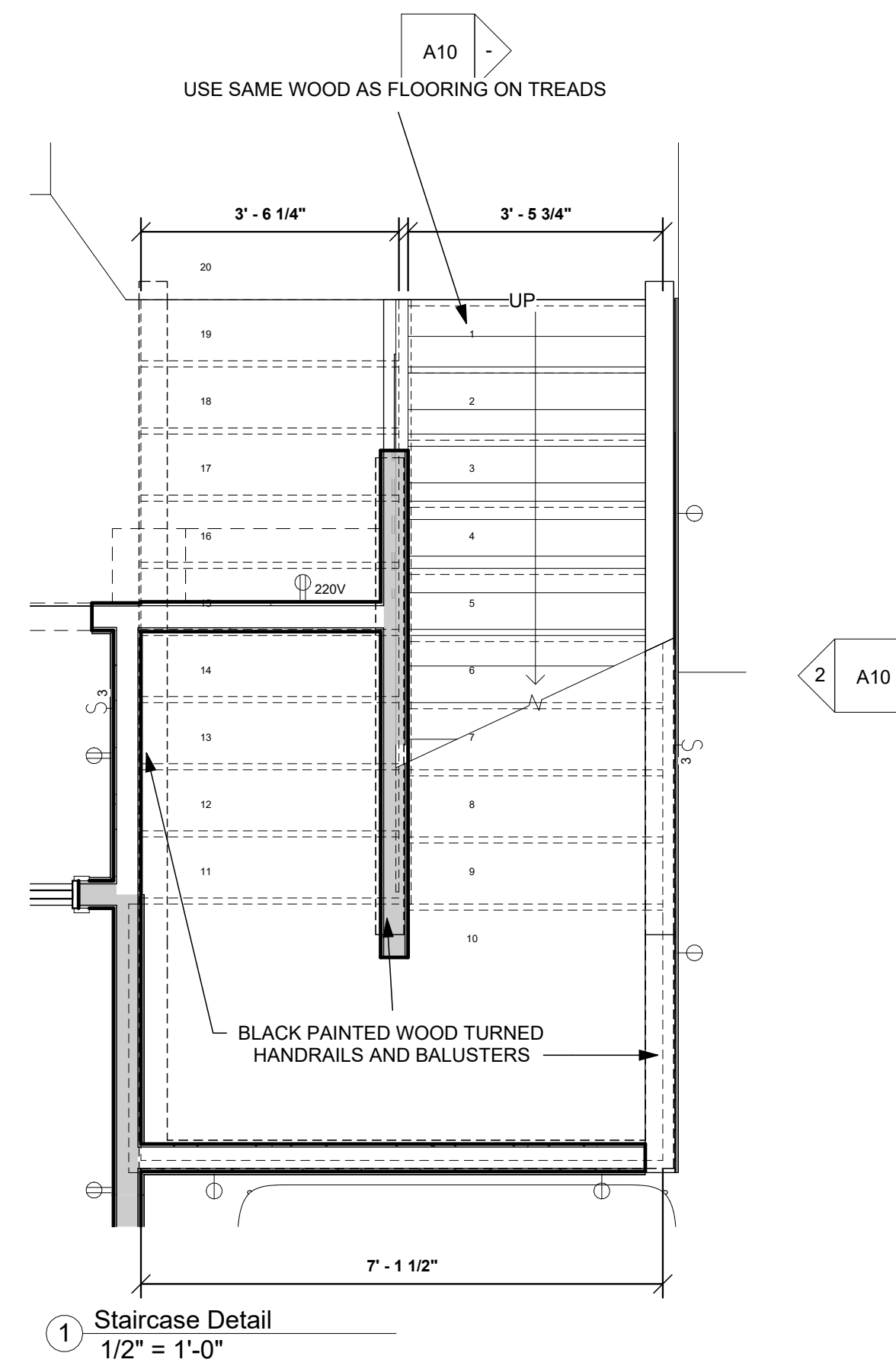
## Bath Detailed Elevations

A9b

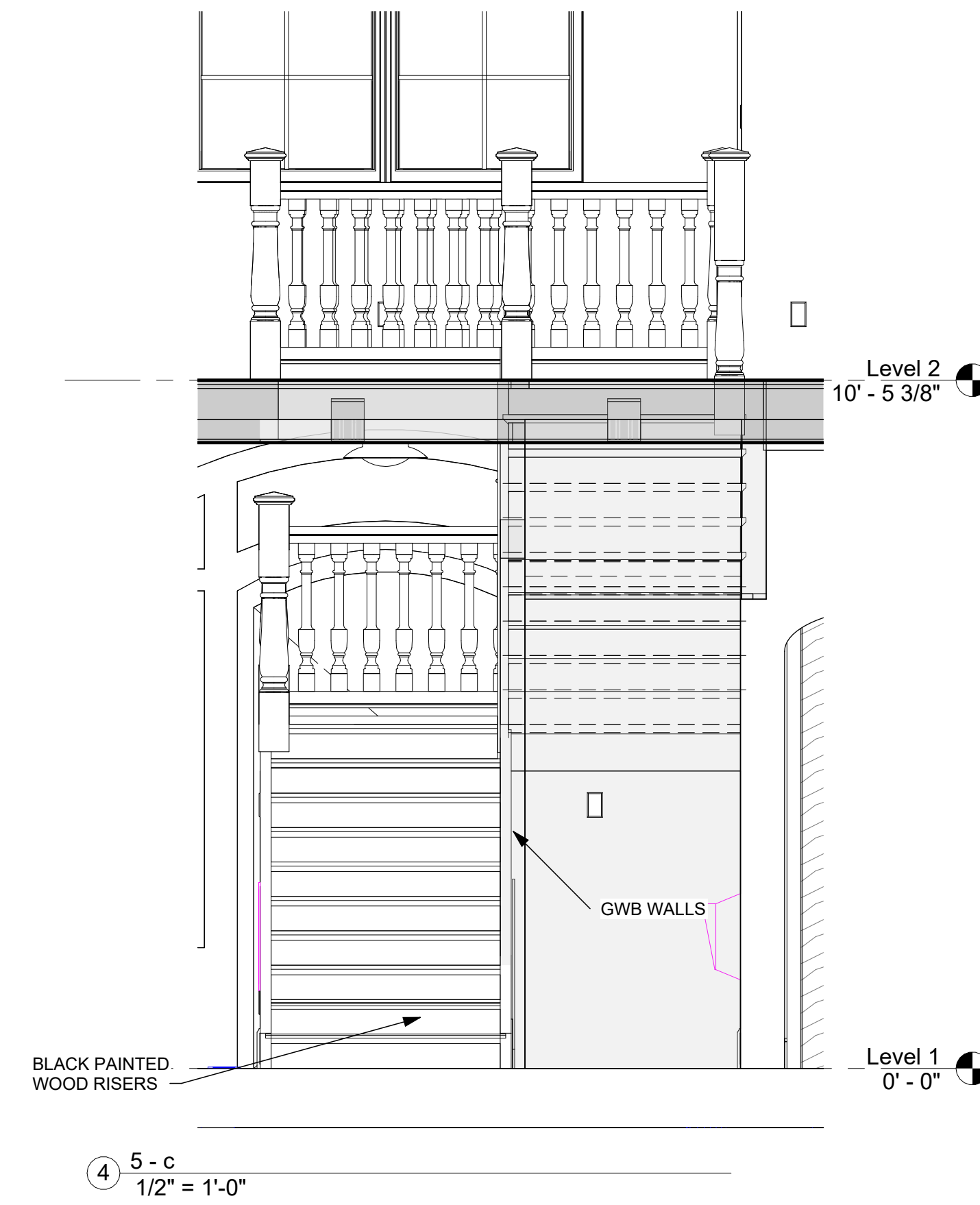




② Stair Side  
1/2" = 1'-0"



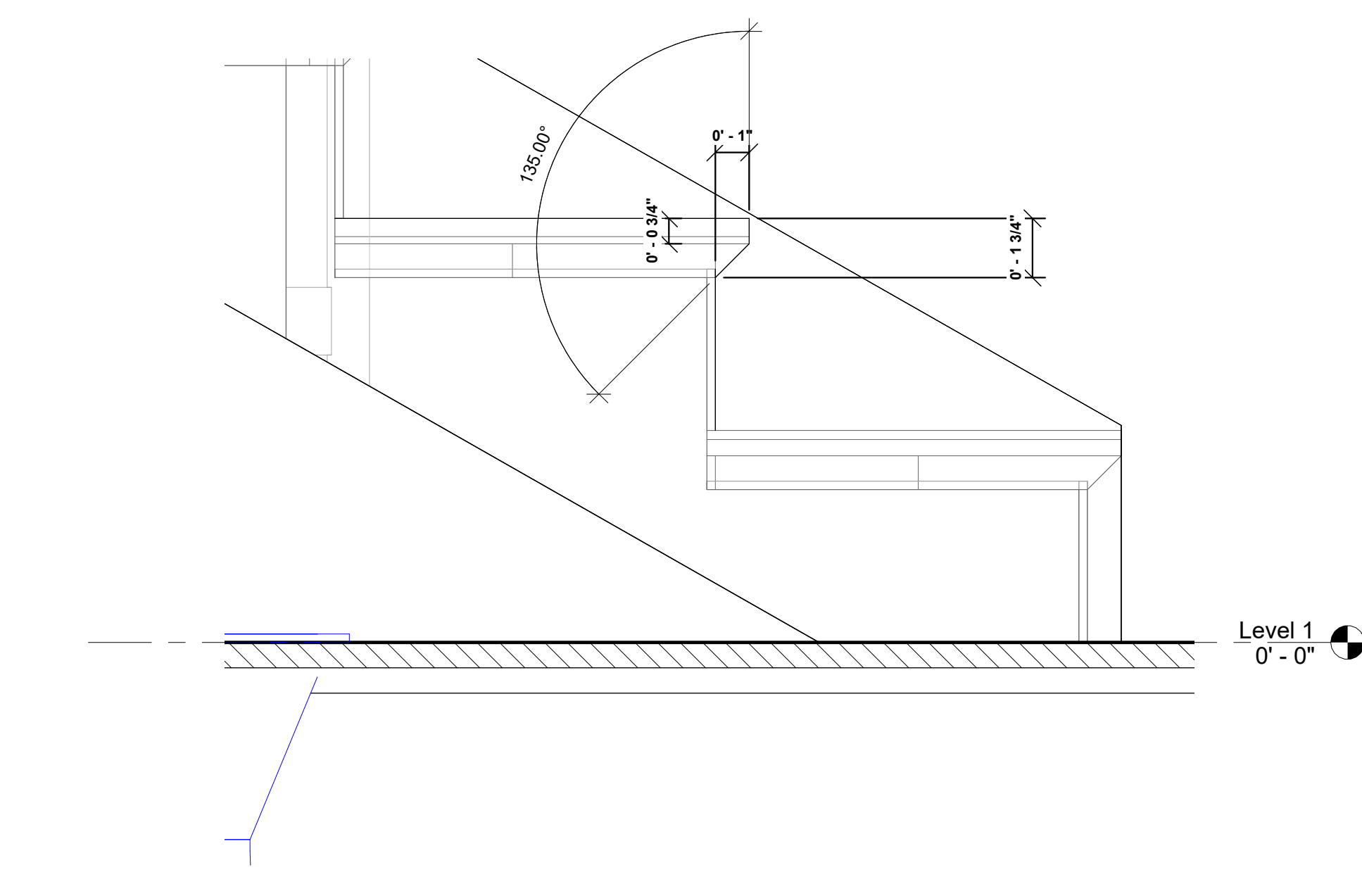
1 Staircase Detail  
1/2" = 1'-0"



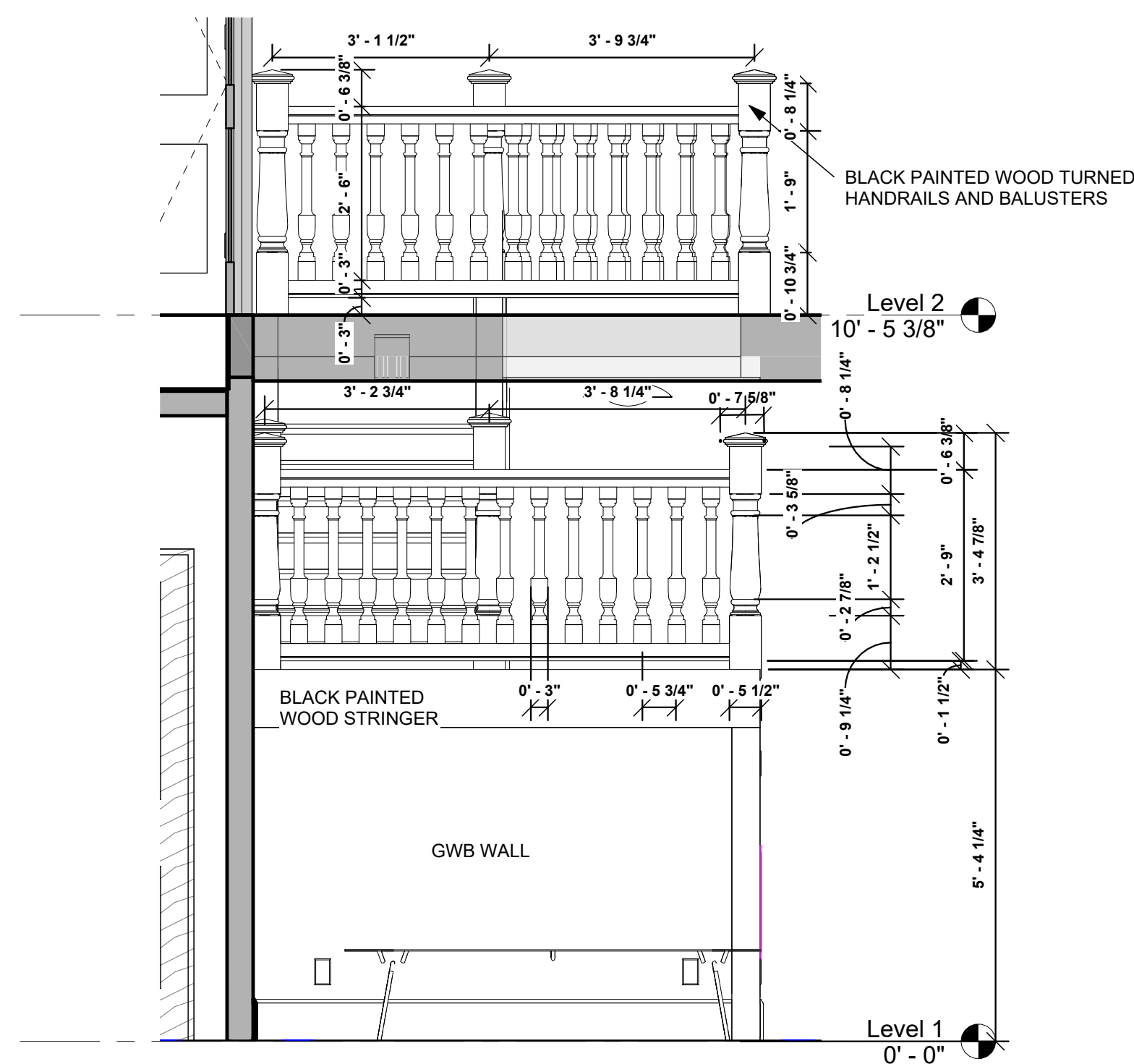
④  $\frac{5 - c}{1/2''} = 1' - 0''$

## GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SOUTH CAROLINA BUILDING CODE AND WITH THE REQUIREMENTS OF THE CITY OF SPARTANBURG, STATE & NATIONAL LAWS AND CODES, ANY DISCREPANCIES BETWEEN THE PLANS AND ABOVE REQUIREMENTS MUST BE CALLED TO THE ARCHITECTS ATTENTION BEFORE PROCEEDING WITH THE WORKS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE PLANS. HE MUST FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK AND REPORT TO THE ARCHITECT TO CLARIFY ANY DISCREPANCIES: CONTRACTOR MUST COORDINATE THE WORK OF ALL TRADES AND INSURE THAT ALL WORK CAN BE COMPLETE AS IT IS THE INTENT OF THE PLANS.
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING SUBCONTRACTOR'S PERMITS, INSPECTIONS AND APPROVALS FROM GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK.
4. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE REQUIREMENTS OF THE UTILITY COMPANIES INCLUDING THE CITY OF SPARTANBURG PUBLIC WORKS DEPARTMENT.
5. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
6. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
7. ALL DRAWINGS AND COPIES THAT FORM PART OF THIS DOCUMENT FURNISHED BY THE ARCHITECT ARE THEIR PROPERTY. THEY ARE NOT TO BE USED ON OTHER WORK AND ARE TO BE RETURNED UPON DEMAND AT THE COMPLETION OF THE WORK. IF THESE DRAWINGS OR ANY PART THEREOF ARE USED IN ANY MANNER WITHOUT THE CONSENT OF THE ARCHITECT, THE USER THEREOF BECOMES INDEBTED TO THE ARCHITECT FOR FULL PROFESSIONAL FEES.
8. THE GENERAL CONTRACTOR MAY SUBSTITUTE EQUIPMENT AND/OR MATERIALS AS LONG AS SUCH CHANGES MEET ALL F.B. CODE REQUIREMENTS AND ARE EQUAL TO THOSE SPECIFIED ON PLANS AND OBTAINS OWNER'S APPROVAL IN WRITING AND BUILDING DEPARTMENT APPROVAL.
9. GUARANTEES: THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE FOR ALL WORK UNDER THIS CONTRACT AGAINST DEFECTS OF EQUIPMENT, MATERIALS, AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE REPAIR AND REPLACE ALL SUCH DEFECTIVE WORK OR MATERIALS DURING THE TERM OF THE GUARANTEE.
10. WORKMANSHIP: ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADE HIGHEST LEVEL OF WORKMANSHIP WILL BE REJECTED. ANY WORK REJECTED SHALL BE REDONE AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED. AT CONTRACTOR'S EXPENSE, CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN FIVE DAYS AFTER NOTICE IS GIVEN THE CONTRACTOR.
11. SAFETY OF PERSONS AND PROPERTY: THE CONTRACTOR IS RESPONSIBLE FOR ALL REASONABLE SAFETY PRECAUTIONS TO PROTECT PEOPLE AFFECTED BY THE WORK, THE WORK ITSELF AND OTHER PROPERTY AT THE SITE OR ADJACENT TO IT.
12. IT IS A GENERAL REQUIREMENT THAT ALL MATERIAL AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE APPLICABLE STANDARD SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
13. CLEANUP: THE CONTRACTOR AND ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES CLEAN OF DEBRIS ARISING OUT OF THE WORK AND FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OTHER TRADES. THE CONTRACTOR SHALL PROVIDE AT ALL TIMES A TRASH CONTAINER ADEQUATE FOR THIS JOB. THE CONTRACTOR SHALL DELIVER ALL WORK UPON COMPLETION OF THE JOB IN A CLEAN, READY-TO-USE CONDITION. ALL FINISHED SURFACES SHALL HAVE PROTECTIVE COVERINGS REMOVED, AND SURFACES CLEANED OF ALL MARKS, STAINS, SOIL, PAINT, OR ADHESIONS OF OTHER MATERIALS AND LEFT IN PERFECT CONDITION. BESIDES GENERAL VACUUM CLEANING, FINISHED SURFACES SHALL BE WASHED, WAXED AND POLISHED WHERE APPLICABLE. EXTERIOR AREAS AFFECTED BY CONSTRUCTION SHALL BE RAKED CLEAN OF DEBRIS. DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED.
14. ALL DETAILS, SECTIONS, DIAGRAMS, ETC. INDICATED AS "TYPICAL" ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE PROJECT.
15. DO NOT SCALE DRAWINGS. DIMENSIONS AND/OR EXISTING CONDITIONS GOVERN. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES

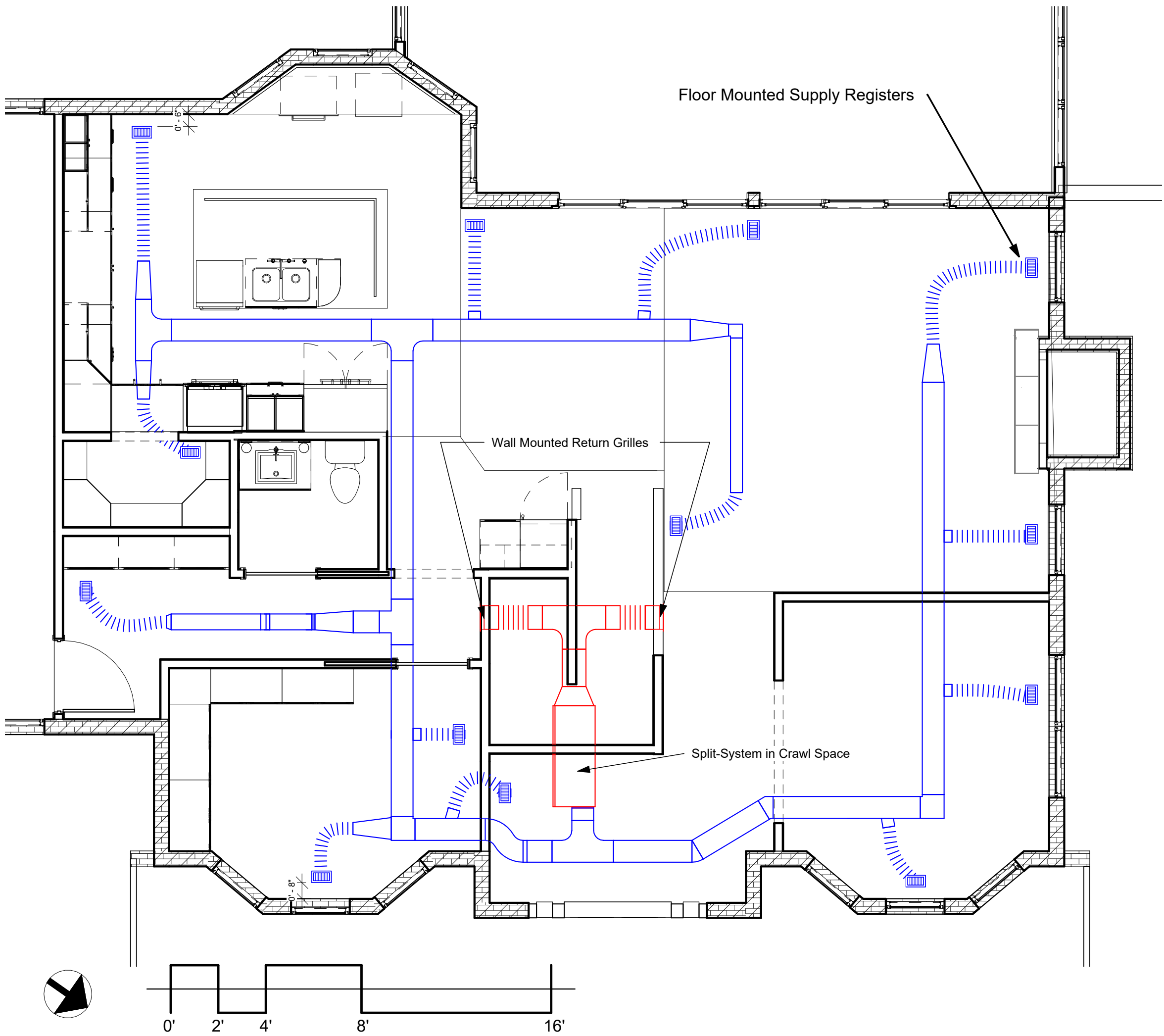


5 Bullnose Detail  
3" = 1'-0"

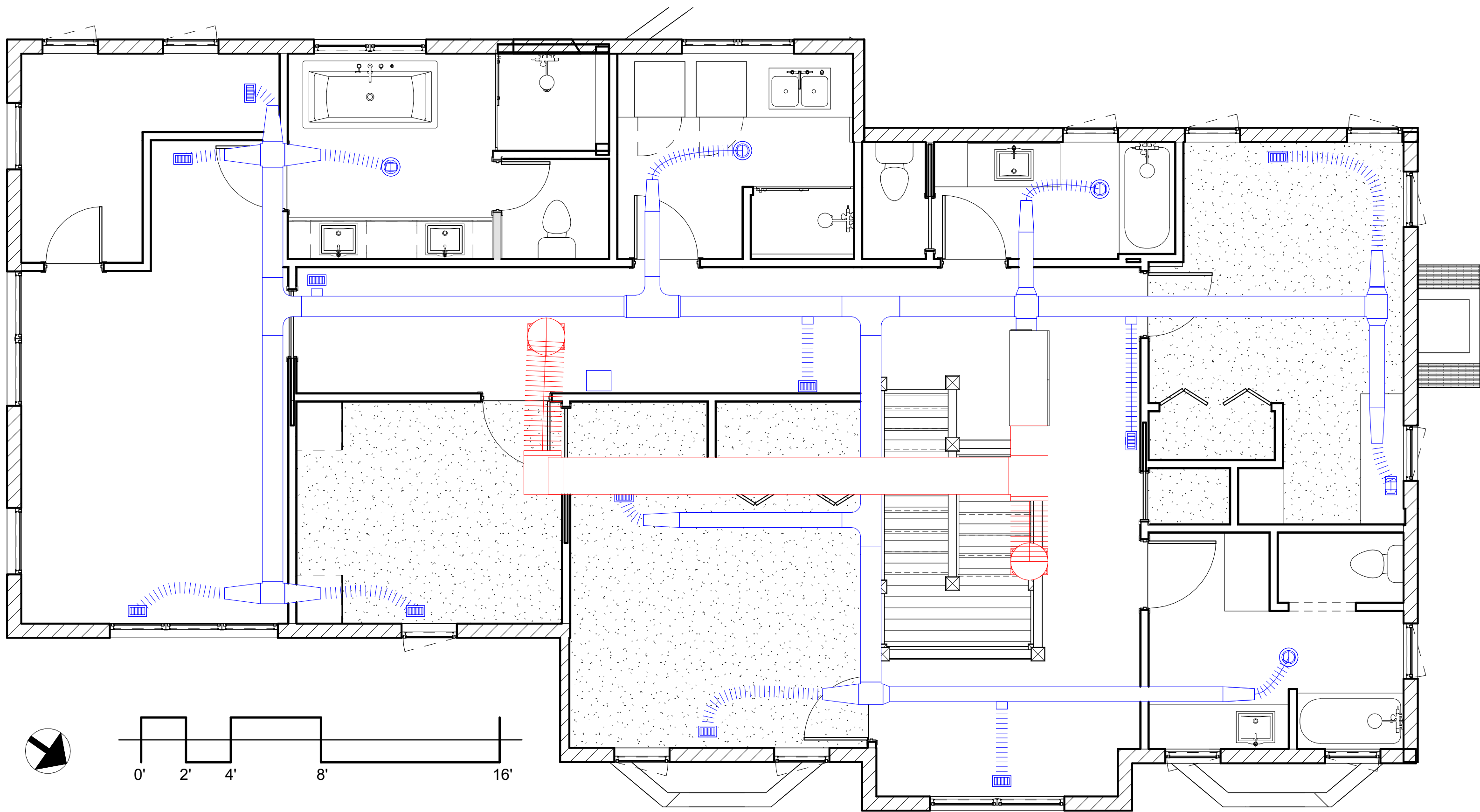


③ Stairs from Entr  
1/2" = 1'-0"





① Level 1 - HVAC  
1/4" = 1'-0"



② Level 2 - HVAC  
1/4" = 1'-0"

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